

ADDENDUM # 02

TO: ALL BIDDERS

RE: CHANGES TO PROJECT MANUAL AND DRAWINGS DATED JUNE 6, 2022

DATE: JULY 25, 2022

SUBJECT: COLUMBIA HOUSING AUTHORITY COLUMBIA, SC ARCHITECT PROJECT #20-12740

PLEASE ATTACH THIS ADDENDUM TO THE PROJECT MANUAL FOR THIS PROJECT AND KINDLY TAKE SAME INTO CONSIDERATION IN PREPARING YOUR CONSTRUCTION COST BREAKDOWN.

1919 ARCHITECTS	
APA PRICT.	
RONALD G. BILLY JR.	

THIS ADDENDUM CONSISTS OF 2 (TWO) PAGES PLUS ATTACHMENTS

ADDENDUM # 02

CLARIFICATIONS

- 1. Q: "We are going with Luxury Vinyl Plank Tile, not resilient which you sent the spec for. So we need specs for LVP"
 - A: The flooring spec currently calls for vinyl plank.
- 2. Q: "Smooth Ceilings scrape or cover with 1/4" drywall"
- A: General note has been added to all unit plan sheets to call for smooth ceiling finishes.
- 3. Q: "Only 1 Tub per household Change master tub to walk in shower."
 - A: Tubs that apply have been changed to walk-in shower on unit plan sheets as well as corresponding interior elevation sheets.
- 4. Q: "Closets replace with ventilated shelving and install new rod."
 - A: Closets on drawings already call for "remove and replace" and the spec specifies wire, ventilated shelving.
- 5. Q: "All doors must be hinged"
 - A: Unit plan Bi-Fold doors have been changed to hinged doors. See attached unit plans.
- 6. Q: "Are we replacing door hardware?"
 - A: Yes (except most of Rosewood homes) see attached revised floor plans and door schedule.
- 7. Q: "Do we have anything with replacing washer and dryer connections and installing new dryer vents?"
 - A: Yes, these connections will be new only at unit(s) where the floor is being raised at. See attached unit plans.

CHANGES TO THE PROJECT MANUAL DATED JUNE 6, 2022:

1. Notice to Bidders delete in its entirety and replace with the attached Notice to Bidders.

CHANGES TO THE DRAWINGS DATED JUNE, 6, 2022:

- 1. REMOVE THE FOLLOWING SHEETS IN THE SHEET SET IN THEIR ENTIRETY AND REPLACE WITH THE SAME NUMBERED SHEET ATTACHED TO THIS ADDENDUM:
 - G000 COVER
 - A100 26 THISTLE
 - A100.1 INTERIOR ELEVATIONS

41 SALVIA .1 INTERIOR ELEVATIONS 109 PEACHTREE .1 INTERIOR ELEVATIONS 218 BARGER
109 PEACHTREE .1 INTERIOR ELEVATIONS 218 BARGER
.1 INTERIOR ELEVATIONS 218 BARGER
218 BARGER
.1 INTERIOR ELEVATIONS
817 RIVERWALK
.1 INTERIOR ELEVATIONS
1620 HOLLINGSHED
2317 HILLBECK
.1 INTERIOR ELEVATIONS
4232 DONAVAN
4316 LEEDS
4817 FAULKLAND
.1 INTERIOR ELEVATIONS
ROSEWOOD HILLS UNITS
DETAILS
DOOR SCHEDULE
.2 FIXTURE SCHEDULES

- 2. REMOVE THE FOLLOWING SHEETS IN THE SHEET SET IN THEIR ENTIRETY:
 - A110.1 -
 - (ROSEWOOD) INTERIOR ELEVATIONS (ROSEWOOD) INTERIOR ELEVATIONS A110.2 -

END ADDENDUM # 02

COLUMBIA HOUSING AUTHORITY NOTICE TO BIDDERS

Columbia Housing Authority will receive sealed bids for Project named Columbia Scattered Site Rehab Phase I.

Columbia, South Carolina

Bids will be received until <u>1:00 p.m. local time on the 17th day of August 2022</u> at the offices of Columbia Housing Authority located at 1917 Harden Street, Columbia, South Carolina, 29204. There will not be any in person bid opening. No in person drop-offs of bids.

Contractor questions must be received by august 9th and answers by August 11th.

Bidders to obtain bid documents by contacting the architect at <u>info@1919architects.com</u> or the Columbia Housing Authority.

Contractors interested in viewing video tours of each home included in this Request for Proposals should email jgibbs@columbiahousingsc.org for additional information.

Bids will be e-mailed to jgibbs@columbiahousingsc.org or mail a thumb drive to 1917 Harden Attn: Juila Gibbs and clearly marked "Columbia SFH Rehab Phase I". Please mark mailed envelopes with Columbia SFH Rehab Phase 1.

Bid Bond executed by the bidder and acceptable sureties in an amount of not less than 5% of the base bid shall be submitted with each bid. Failure to submit an acceptable bid bond with the bid will result in the rejection of the bid.

Attention is called to the provisions for Equal Employment Opportunity and payment of not less than the minimum salaries and wages set forth in the bid documents. This project will require compliance to the Davis-Bacon Wage Decisions and the Section 3 requirements as listed in the contract documents.

All Contractors who are awarded construction related contracts must document Affirmative Action to ensure Equal Opportunity in Employment. This documentation is subject to review by the Regional Office of the Department of Labor. As a part of normal contract administration, Columbia Housing Authority is responsible for determining the Contractor's compliance with the Equal Employment Opportunity Clause and Affirmative Action Requirements as well as the Contractor's performance in executing those requirements.

All MBE/DBE/WBE Contractors, Subcontractors and Suppliers are encouraged to participate on Columbia Housing Authority projects and the housing authority has established a 30% goal.

Columbia Housing Authority reserves the right to accept or reject any and all bids and to waive any and all technicalities.

No bid shall be withdrawn for a period of (90) calendar days subsequent to the opening of the bids without the written consent of Columbia Housing Authority.

COLUMBIA HOUSING AUTHORITY

(GROUP I) COLUMBIA HOUSING AUTHORITY SCATTERED SITE REHAB - ZONE I

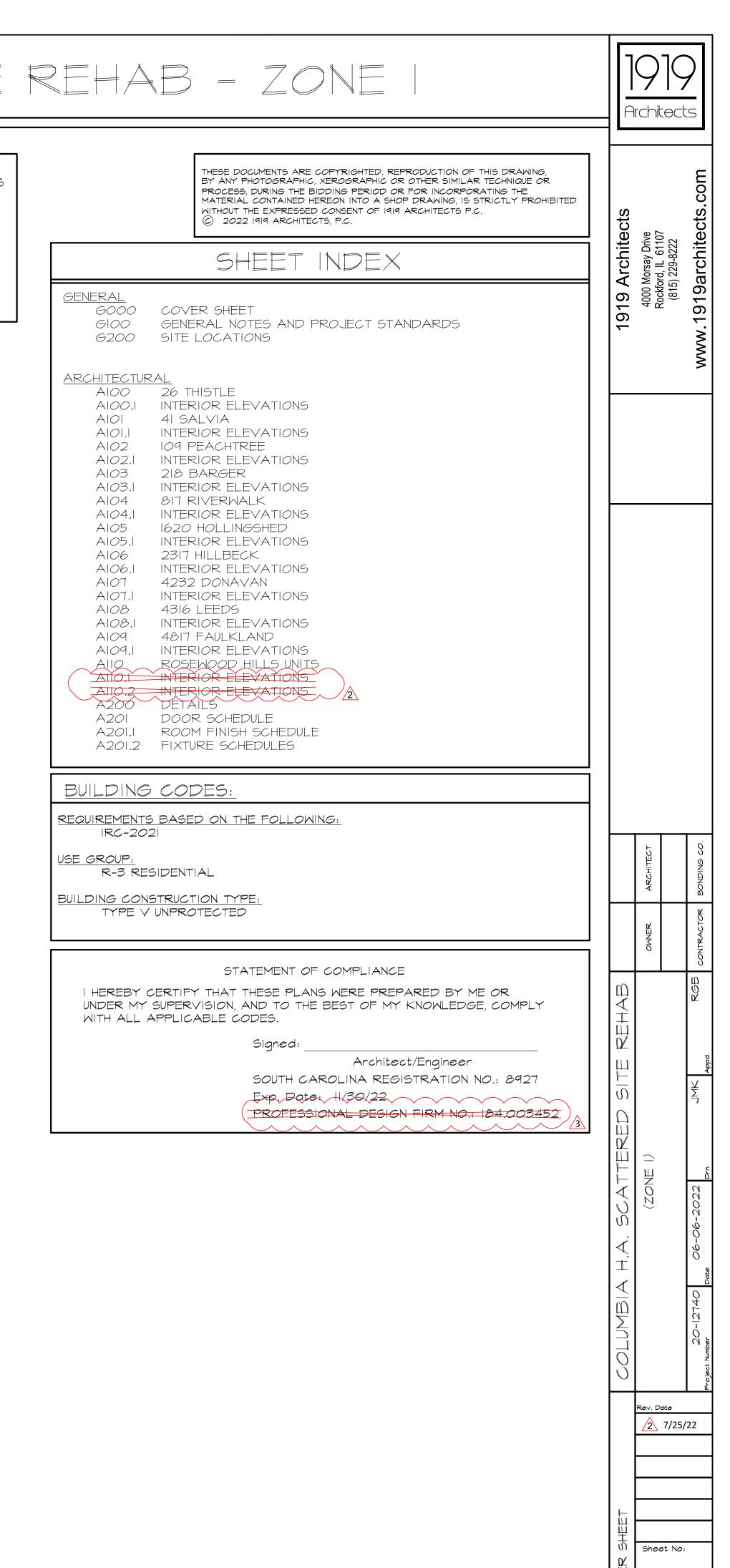
PROJECT ADDRESS

OWNER	COLUMBIA HOUSING AUTHORITY
	1917 HARDEN ST.
	COLUMBIA, SOUTH CAROLINA, 29204-1117
	CONTACT: (803)254-3886

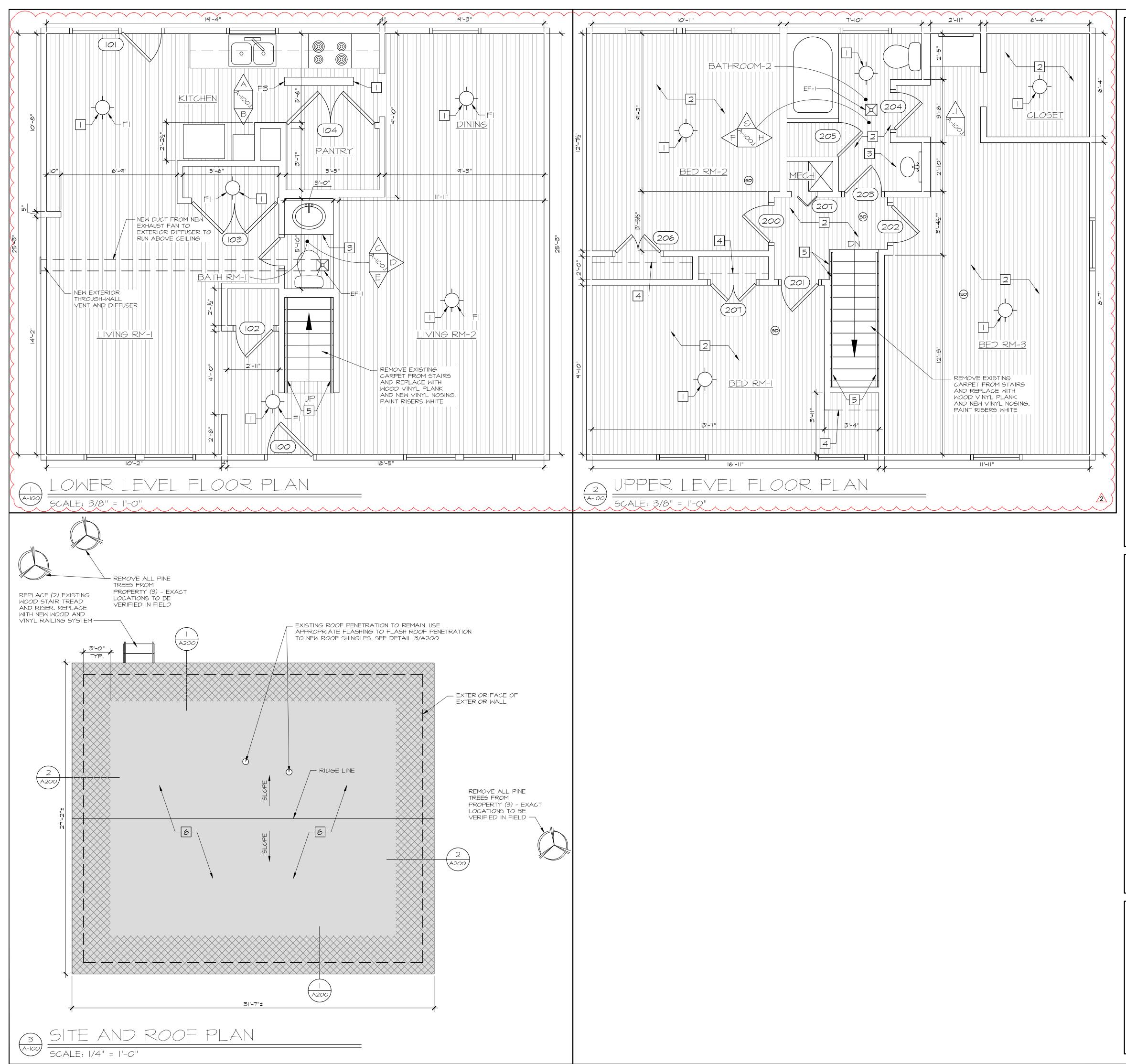
ARCHITECT 1919 ARCHITECTS, P.C. 4000 MORSAY DRIVE ROCKFORD, IL 61107 RONALD G. BILLY, JR., NCARB, LEED AP

ALTERNATE BID:

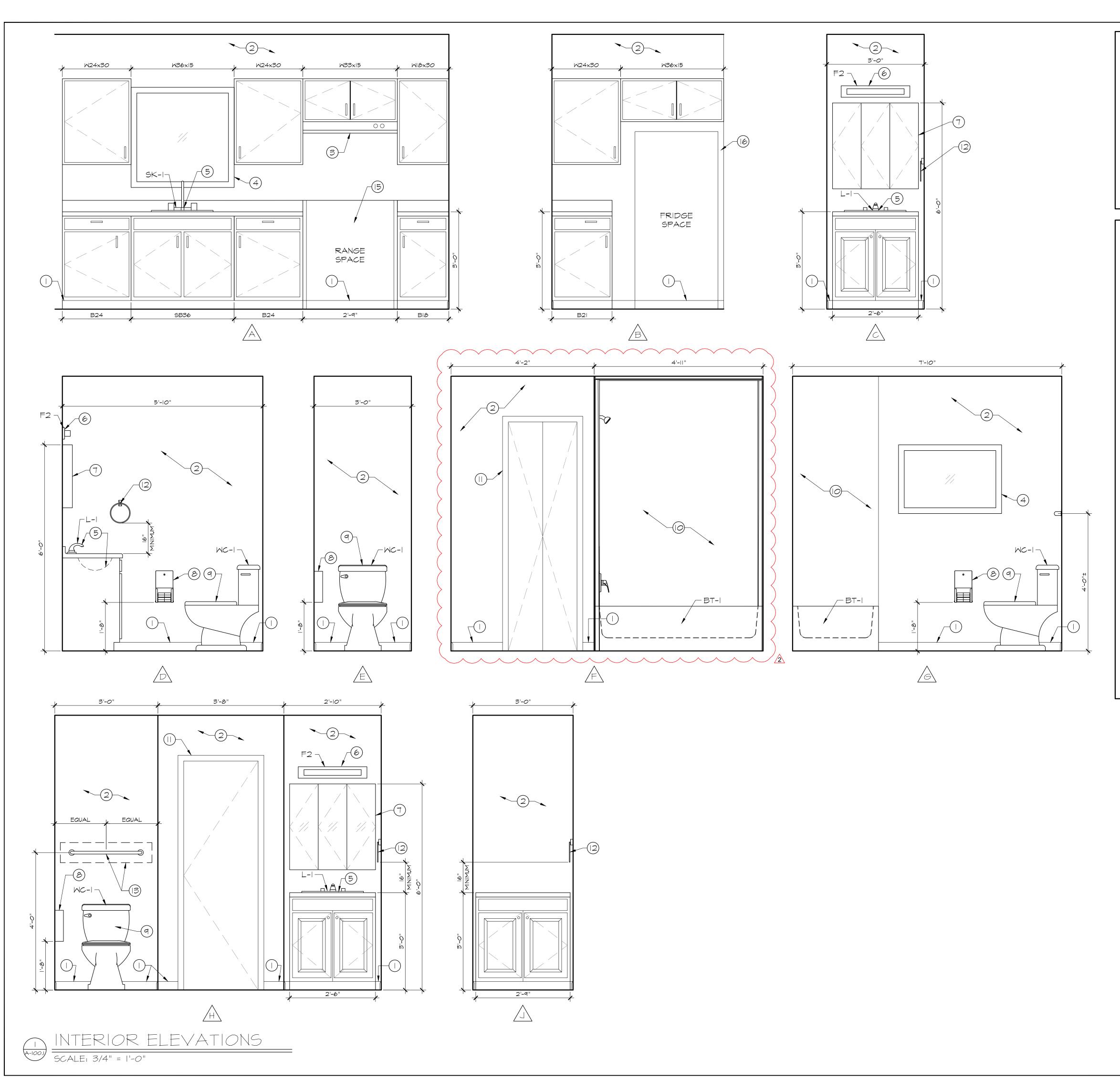
- REMOVE AND REPLACE EXISTING DISHWASHERS IN THE FOLLOWING UNITS (& UNITS):
- 41 SALVIA CT. 108 ROSEWOOD HILLS DR.
- 136 ROSEWOOD HILLS DR.
- 164 ROSEWOOD HILLS DR.
- 168 ROSEWOOD HILLS DR. 176 ROSEWOOD HILLS DR.
- 433 S. GREGG ST. (SIMILAR)
- 530 S. BULL ST. (SIMILAR)



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GENERAL NOTES (THIS SHEET ONLY)	П	\overline{Q}	0
 SEE PROJECT GENERAL NOTES ON GIOO. ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, 		irchite	acts
SEED AND STRAW AS NECESSARY. 3. ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM			
FINISH SCHEDULE ON A201.1. 4. ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. ANY EXISTING WOOD PANEL WALLS (SEE ROOM FINISH	ects	ive 07	2 ects.com
SCHEDULE ON A201.1) WITHIN UNIT ARE TO BE REMOVED AND REPLACED WITH GYP BOARD WALLS, PRIMED AND PAINTED. ANY EXISTING INTERIOR BRICK WALLS TO BE FURRED WITH 2x4 STUDS AND GYP BD. 5. ALL GYP. BOARD CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND BERAUB ANY CYP. BOARD CEILING AC NECESCARY FOR EVEN EINICHES. EXISTING	Architects	4000 Morsay Drive Rockford, IL 61107	(815) 229-8222 919architects .
REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING GYP. CEILINGS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. 6. ALL CEILING AND WALL LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON	1919	40 Ro	。 191
A201.2. 7. ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM			Ň
THROUGHOUT DURATION OF WORK. 8. ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS.			
 9. ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS. 10. ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR CEE INTERIOR ELEVATIONS FOR THIS UNIT. 			
AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT. II. ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT. 12. ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND			
REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION. 13. ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW			
CLOSET SHELVING (U.N.O). 14. ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION. 15. SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST			
BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT). 16. REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF			
MISSING. 17. ALL BATHROOMS ARE TO HAVE AT LEAST (1) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS. SEE SHEET A201.2 FOR EXHAUST FAN INFORMATION.			
(18. <u>ALL</u> TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND PAINTED. NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING			
TEXTURED CEILING LOCATIONS PRIOR TO WORK. <u>PER ALTERNATE BID NO. 1</u> - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 4" THK. GYP BOARD, PRIMED AND PAINTED EINIGH TO BE SMOOTH			
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- SEE PROJECT GENERAL NOTES ON GIOO.
 ALL FLOORING FINISH MATERIAL IN EVERY ROOM TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER
- LEGEND OF SYMBOLS. SEE ROOM FINISH SCHEDULE ON A201.1. 3. ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO
- BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. 4. ALL CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE
- TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON 201.1 5. ALL CEILING LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND
- REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.6. ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY
- FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.

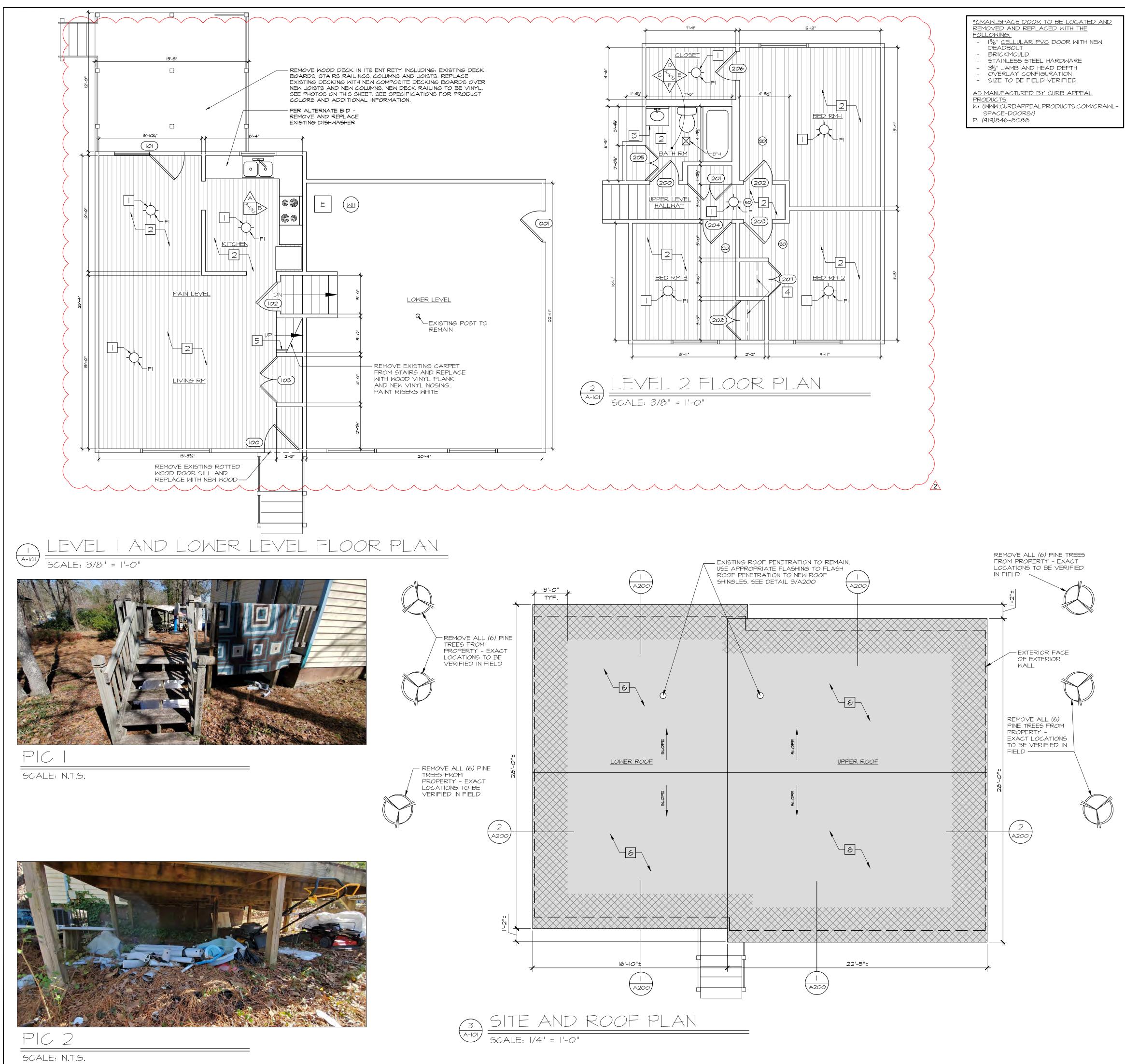
KEYNOTES

- EXISTING BASE TRIM TAKE CARE NOT TO DAMAGE THROUGHOUT DURATION OF WORK.
- (2) PRIME AND PAINT EXISTING WALL AND ENTIRE ROOM PER ROOM FINISH SCHEDULE ON 201.1.
- (3) REMOVE AND REPLACE EXISTING RANGE HOOD WITH NEW.
- (4) EXISTING WINDOW AND TRIM TO REMAIN TAKE CARE NOT TO DAMAGE.
- (5) REMOVE AND REPLACE EXISTING SINK COMPONENTS WITH NEW SINK FAUCET, CONTROLS AND BOWL. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- (6) REMOVE EXISTING WALL MOUNTED VANITY LIGHT FIXTURE. REPLACE WITH NEW WALL-MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
- (7) REMOVE EXISTING MIRROR OR MEDICINE CABINET AND REPLACE WITH NEW WALL-MOUNTED MIRROR OR MEDICINE CABINET WITH DOOR(S). REPAIR DISTURBED DRYWALL, PRIME AND PAINT AS NECESSARY TO MATCH NEW FINISHES. SEE ROOM FINISH SCHEDULE ON A201.1.
- (8) NEW TOILET PAPER DISPENSER. SEE SPECIFICATION.
- (9) REMOVE AND REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET. USE EXISTING SANITARY DRAIN FROM REMOVAL OF WATER CLOSET FOR NEW UNIT LOCATION. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- REMOVE AND REPLACE EXISTING TUB/SHOWER SURROUND AND TUB INCLUDING FAUCETS, CONTROLS, BARS, CURTAIN ROD ETC. NEW TUB TO BE CAST-IRON AND NEW SURROUND IS TO EXTEND FROM TOP OF NEW TUB TO CEILING. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.
- (II) EXISTING DOOR AND FRAME TO REMAIN. PREPARE DOOR AND FRAME, PRIME AND PAINT PER DOOR SCHEDULE ON A201.

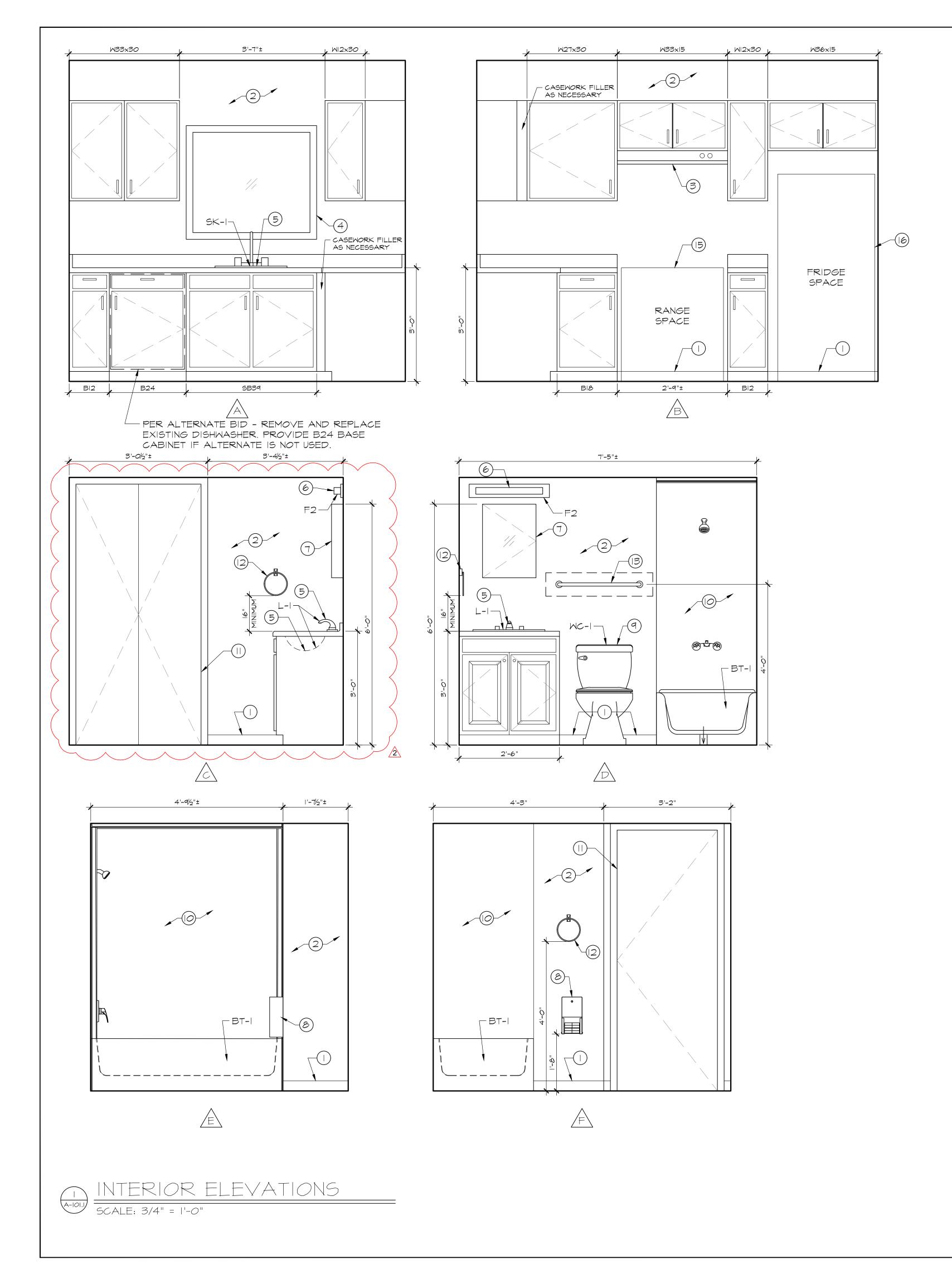
(2) NEW TOWEL RING - SEE SPECIFICATION SECTION 10 28 00.

- (13) NEW 2'-O" LONG HORIZONTAL TOWEL BAR. PROVIDE WOOD BACKING AS NECESSARY BEHIND EXISTING DRYWALL. - SEE SPECIFICATION SECTION 10 28 00.
 (14)
- NEW TOWEL HOOK SEE SPECIFICATION SECTION 10 28 00.
- (15) RANGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW RANGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.
- (6) FRIDGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW FRIDGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.

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H.A. SCATTERED SITE REHAB	OWNER		06-06-2022 JMK
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GENERAL NOTES (THIS SHEET ONLY)	$ \Gamma$	910	\mathcal{T}
 SEE PROJECT GENERAL NOTES ON GIOO. ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, 	A	rchited	ts
SEED AND STRAW AS NECESSARY. 3. ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL			
FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM FINISH SCHEDULE ON A201.1. 4. ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH	ر بر		www.1919architects.com
SCHEDULE ON A201.1. ANY EXISTING WOOD PANEL WALLS (SEE ROOM FINISH SCHEDULE ON A201.1) WITHIN UNIT ARE TO BE REMOVED AND REPLACED WITH GYP BOARD WALLS, PRIMED AND PAINTED. ANY EXISTING INTERIOR BRICK	Architects	ly Drive 61107 -8222	hitect
WALLS TO BE FURRED WITH 2x4 STUDS AND GYP BD. 5. ALL GYP. BOARD CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING		4000 Morsay Drive Rockford, IL 61107 (815) 229-8222	19arc
GYP. CEILINGS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. 6. ALL CEILING AND WALL LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND	1919	4 K	w.19
REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2. 7. ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR			Ŵ
COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK. 8. ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS.			
9. ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS.			
IO. ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT.			
II. ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING			
FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT. 12. ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND			
REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A2012 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.			
13. ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O).			
 14. ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION. 15. SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST 			
BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT).			
16. REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF			
MISSING. 17. ALL BATHROOMS ARE TO HAVE AT LEAST (1) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT			
PLANS. SEE SHEET A201.2 FOR EXHAUST FAN INFORMATION. 18. ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND			
PAINTED. NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. <u>PER ALTERNATE BID NO. 1</u> - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/4" THK. GYP BOARD,			
PRIMED AND PAINTED. FINISH TO BE SMOOTH.			
		ECT	Ö.
KEYNOTES (THIS SHEET ONLY)		ARCHITECT	BONDING
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LOCATION AS SPECIFIED. FIXTURE TO BE INSTALLED AT SAME LOCATION OF PREVIOUS FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.	¶ ∭		А С Ш
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EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1.			Appd.
3 SCRIBE PAINT AT WALL AS NECESSARY AND REMOVE EXISTING VANITY BASE CABINET, VANITY COUNTERTOP, AND ALL ASSOCIATED SINK	<u>⊢</u> 0	U ,	¥ ∑ ₪
COMPONENTS INCLUDING BOWL, FAUCET AND CONTROLS AND DISPOSE OF LEGALLY. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. NEW		1) OLUMBIA,	
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4 REMOVE AND REPLACE EXISTING SHELVING (ONE SHELF) AND REPLACE WITH NEW SHELVING.	CAT	ZONE CT. CC	2022
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FINISHES. 6 REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SHEATHING. REMOVE	$ \top $	$\frac{4}{0}$	Date
EXISTING ICE AND WATER SHIELD AND UNDERLAYMENT IF PRESENT. INSTALL NEW ROOF SHINGLES OVER NEW UNDERPAYMENT AND OVER NEW ICE AND	$\left \frac{1}{\overline{\mathbb{W}}} \right $		-12740
WATER SHIELD WHERE INDICATED.			20- 2 ⁻ mber
			2 Project Number
LEGEND OF SYMBOLS		Rev. Date	<u> </u>
NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1		2 7/2	5/22
NEW ICE AND WATER SHIELD - EXTEND 3'-0" PAST INSIDE OF EXTERIOR WALL (MIN.)			
AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.			
SMOKE AND CARBOND DIOXIDE DETECTOR - SEE GENERAL NOTE 15	\leq	Sheet No	D :
CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17	SAL	A	$\supset $
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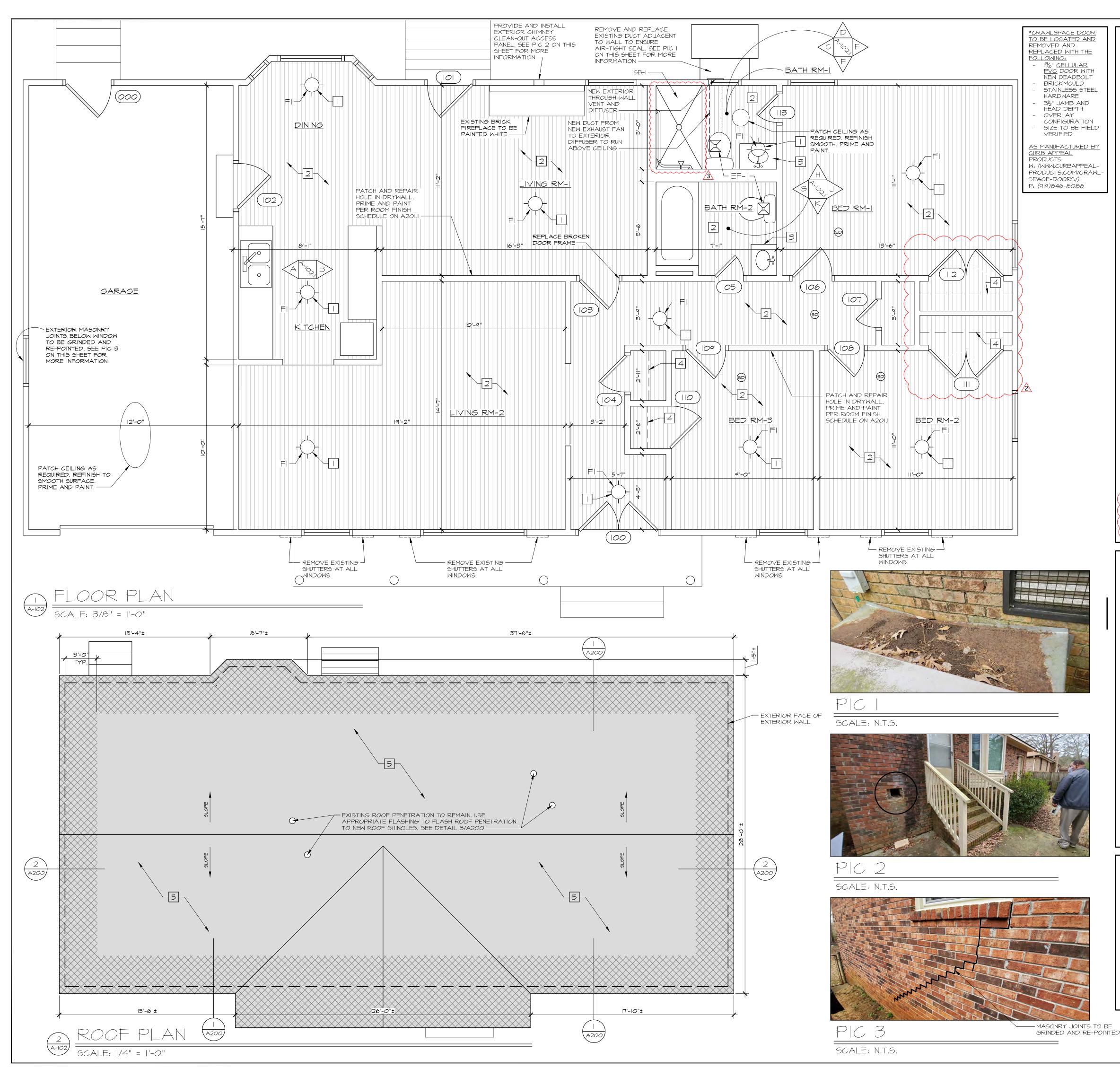
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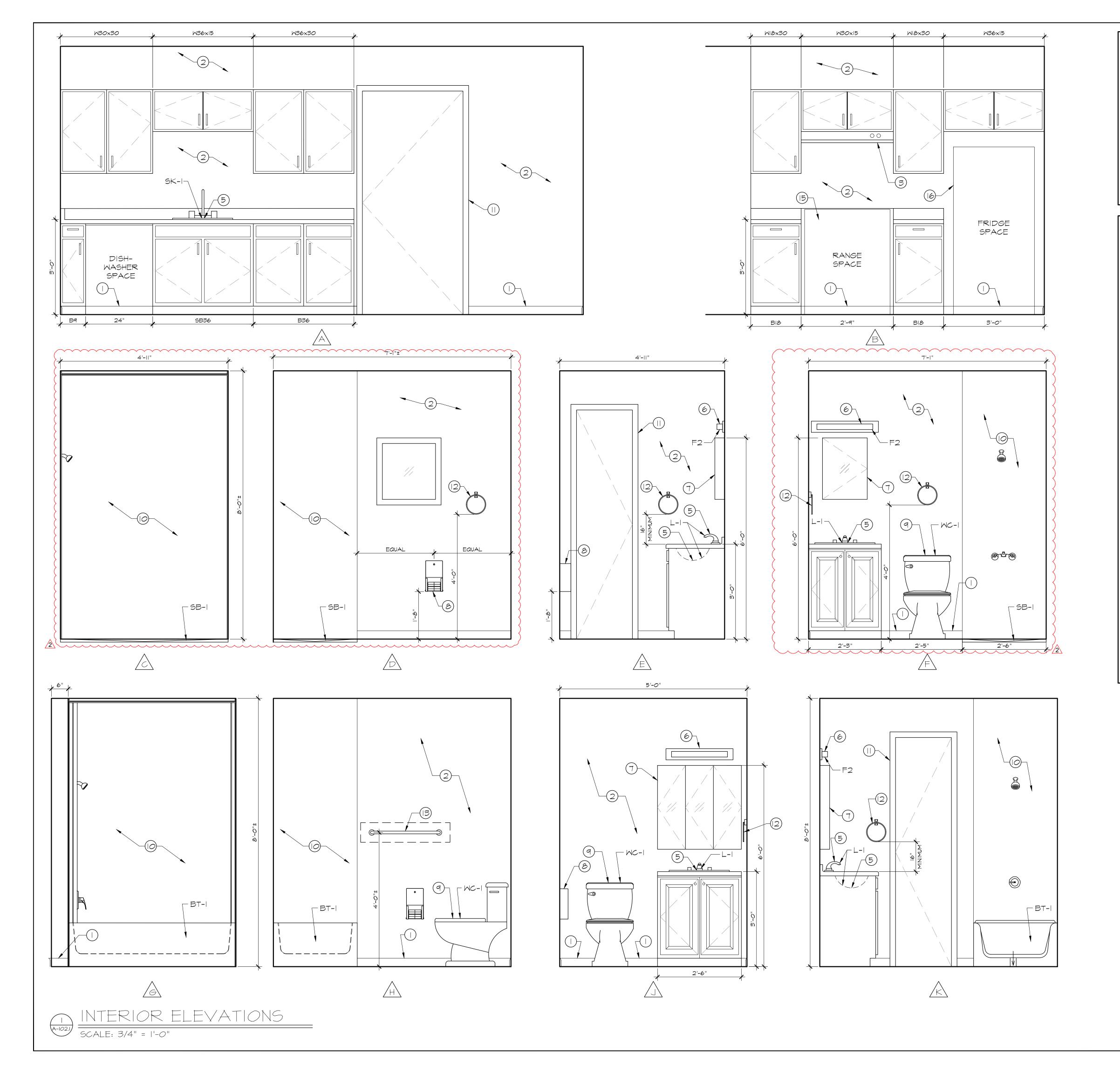
KEYNOTES

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- (4) EXISTING WINDOW AND TRIM TO REMAIN TAKE CARE NOT TO DAMAGE.
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- (6) REMOVE EXISTING WALL MOUNTED VANITY LIGHT FIXTURE. REPLACE WITH NEW WALL-MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.
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8.	COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK. ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING			
9.	COUNTERTOPS, WALL CABINETS AND BASE CABINETS. ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER			
10.	UNIT INTERIOR ELEVATIONS. ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED			
.	AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT. ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT.			
12.	ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.			
	ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O). ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR			
15.	SCHEDULE ON A201 FOR ADDITIONAL INFORMATION. SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND			
16.	REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT). REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF MISSING.			
17.	ALL BATHROOMS ARE TO HAVE AT LEAST (I) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS. SEE SHEET A2012 FOR EXHAUST FAN INFORMATION.			
18.	ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND PAINTED. NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. <u>PER ALTERNATE BID No. 1</u> - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/4" THK. GYP BOARD,			
$\left(\begin{array}{c} \\ \end{array} \right)$	PRIMED AND PAINTED. FINISH TO BE SMOOTH.			
	EYNOTES (THIS SHEET ONLY)		ARCHITECT	NDING CO.
FLC	OR PLAN:		Ť	BOND
	SCRIBE PAINT AROUND CEILING FIXTURE BASE AND REMOVE EXISTING FIXTURE AND DISPOSE OF LEGALLY. ELECTRICAL CIRCUITRY AND ACCESS TO REMAIN FOR NEW FIXTURE INSTALLATION. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. INSTALL NEW CEILING-MOUNTED LIGHT FIXTURE LOCATION AS SPECIFIED. FIXTURE TO BE INSTALLED AT SAME LOCATION OF PREVIOUS FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.		OWNER	3 CONTRACTOR
2	EXISTING FLOORING MATERIAL TO BE REMOVED DOWN TO BASE LAYER	A ∏ ∏		RGB
	CONCRETE OR PLYWOOD (VERIFY IN FIELD). TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1.			
3	SCRIBE PAINT AT WALL AS NECESSARY AND REMOVE EXISTING VANITY BASE CABINET, VANITY COUNTERTOP, AND ALL ASSOCIATED SINK COMPONENTS INCLUDING BOWL, FAUCET AND CONTROLS AND DISPOSE OF	S ∏∏	A, SC.	JMK Appd
	LEGALLY. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. NEW VANITY BASE CABINET, VANITY COUNTERTOP AND SINK COMPONENTS TO BE INSTALLED AT SAME LOCATION OF PREVIOUS VANITY. SEE INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.		I) Columbia,	
4	REMOVE AND REPLACE EXISTING SHELVING (ONE SHELF) AND REPLACE WITH NEW SHELVING.	CATT	(ZONE	:022 Drn.
5	REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SHEATHING. REMOVE EXISTING ICE AND WATER SHIELD AND UNDERLAYMENT IF PRESENT. INSTALL	ы С	HTR ∎RTH	06-06-2
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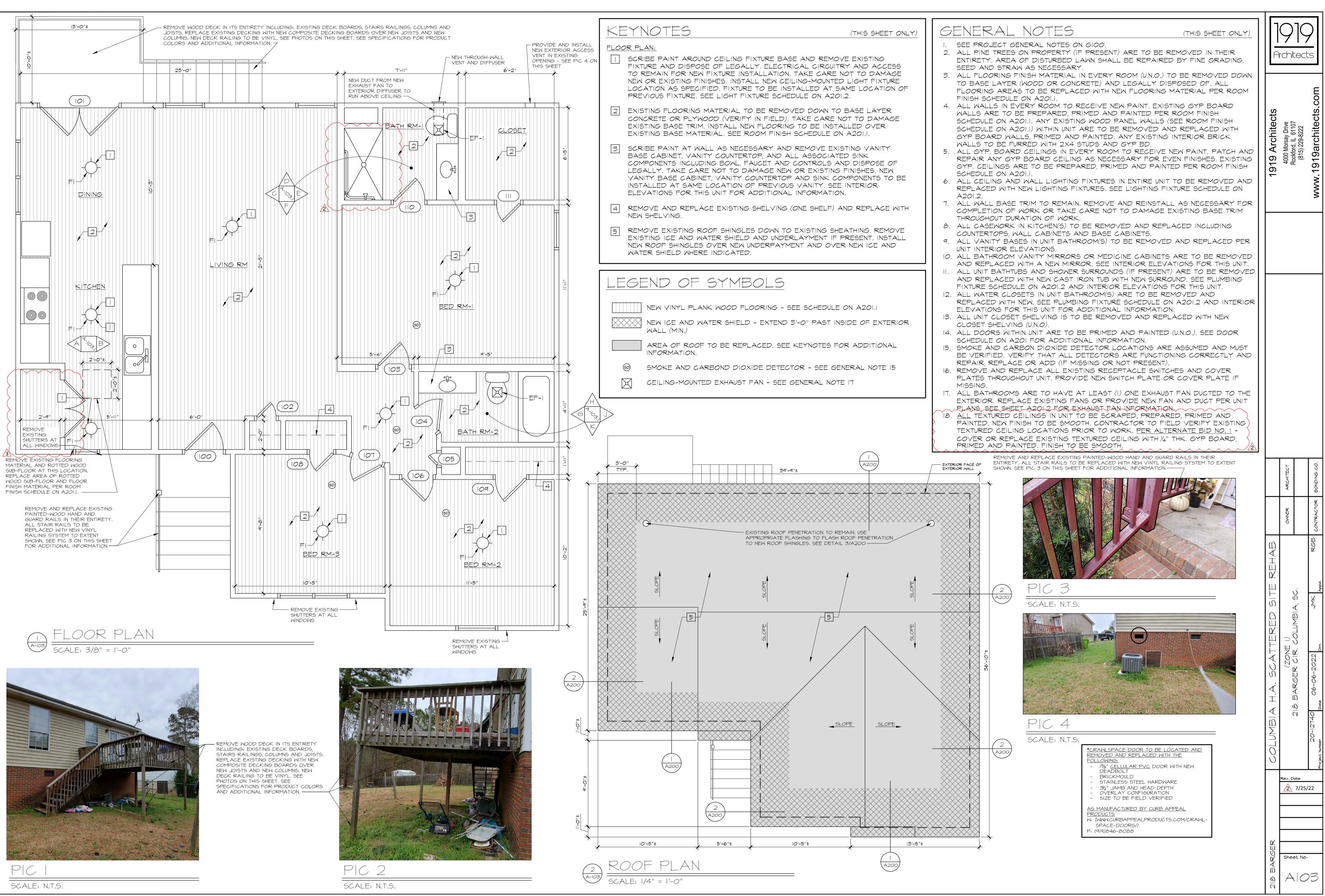
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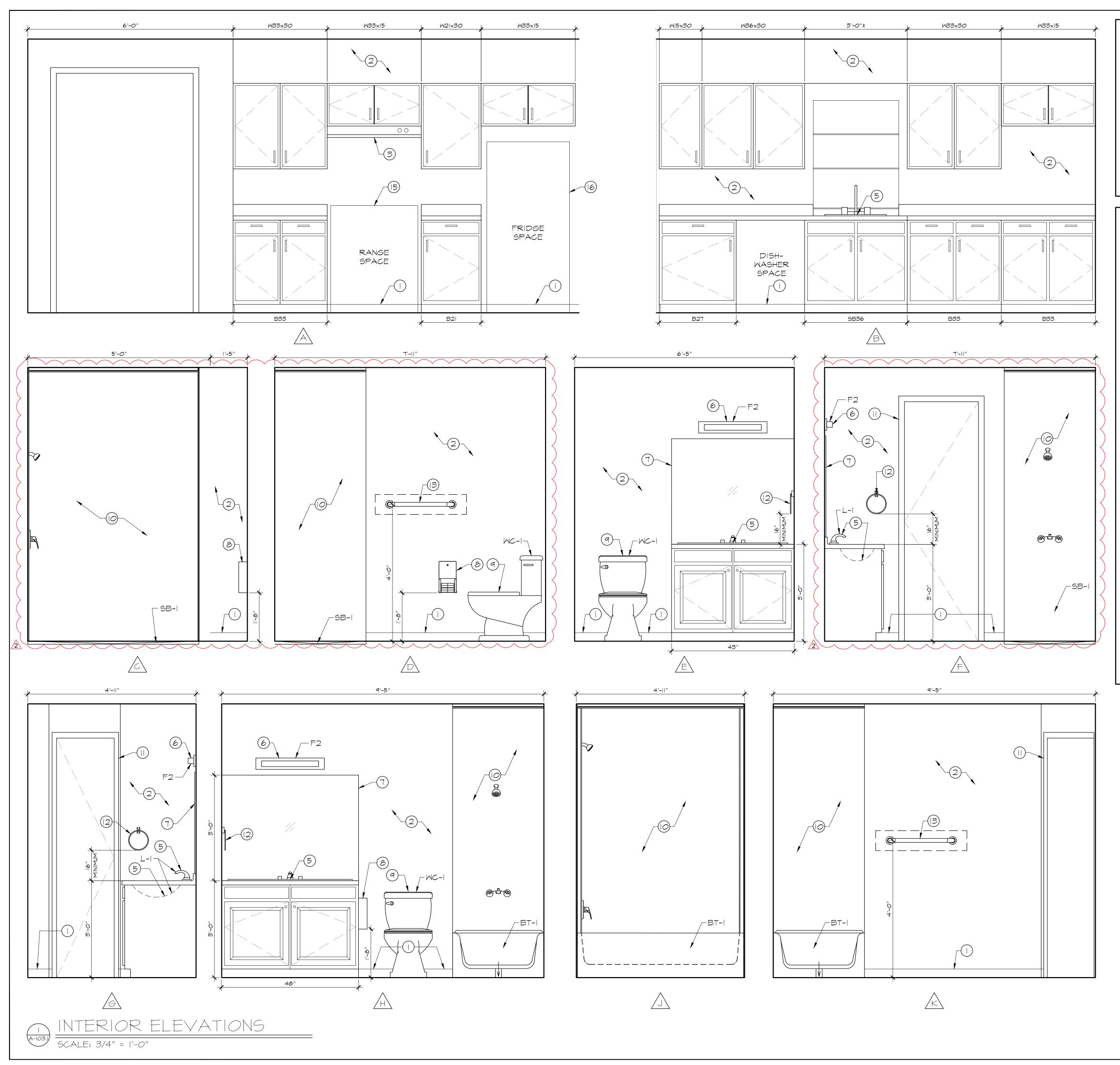
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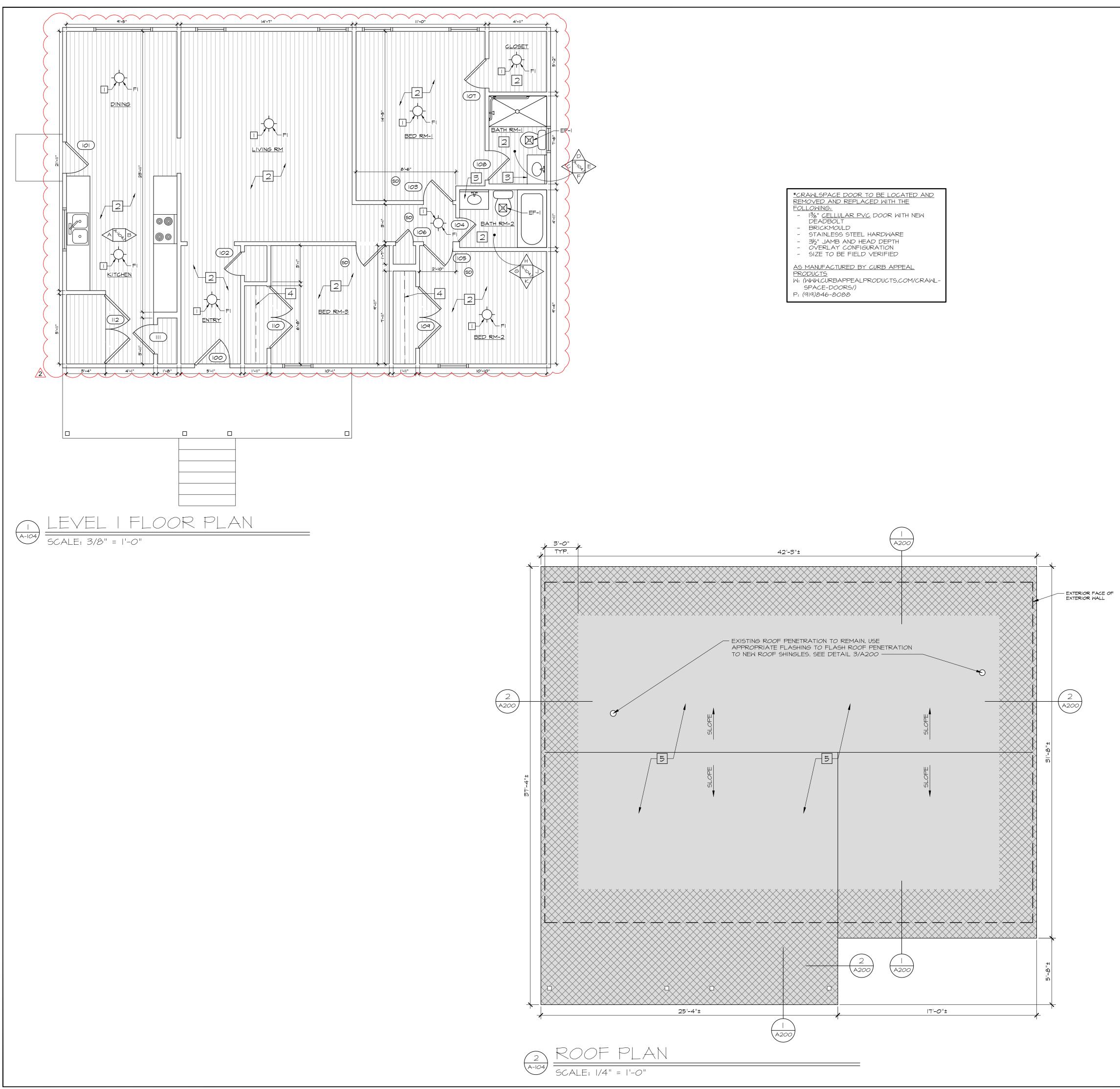
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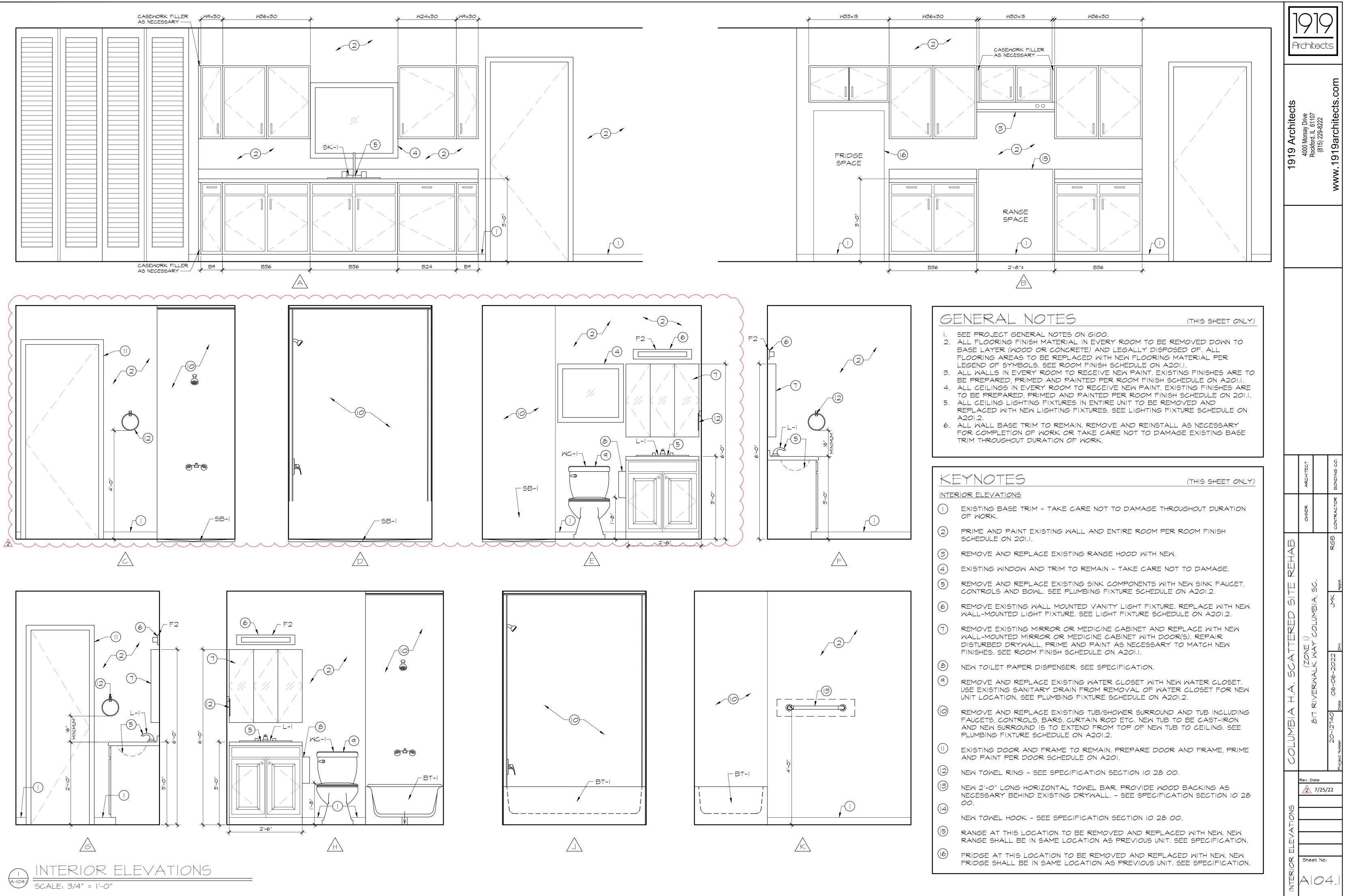
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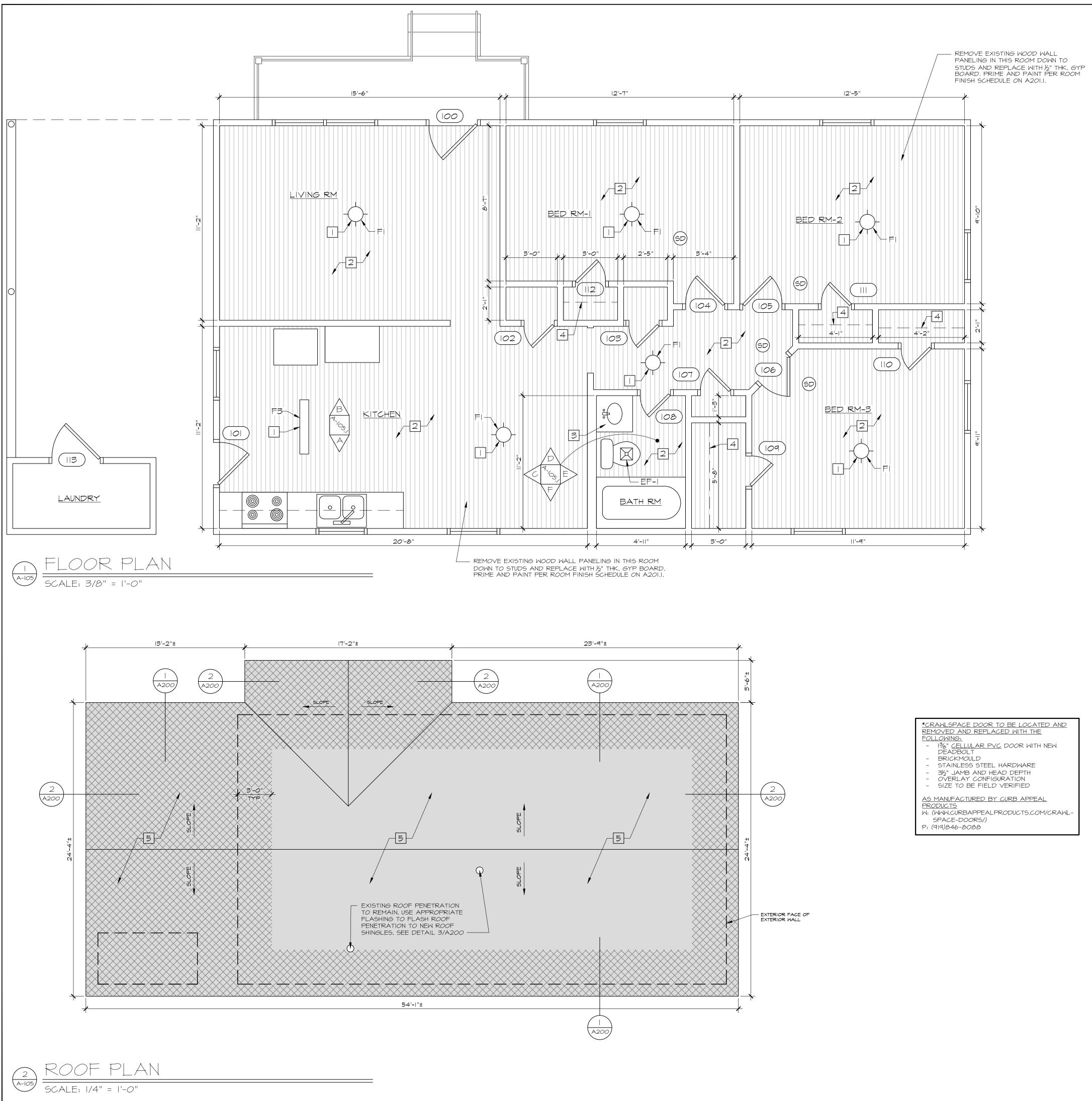
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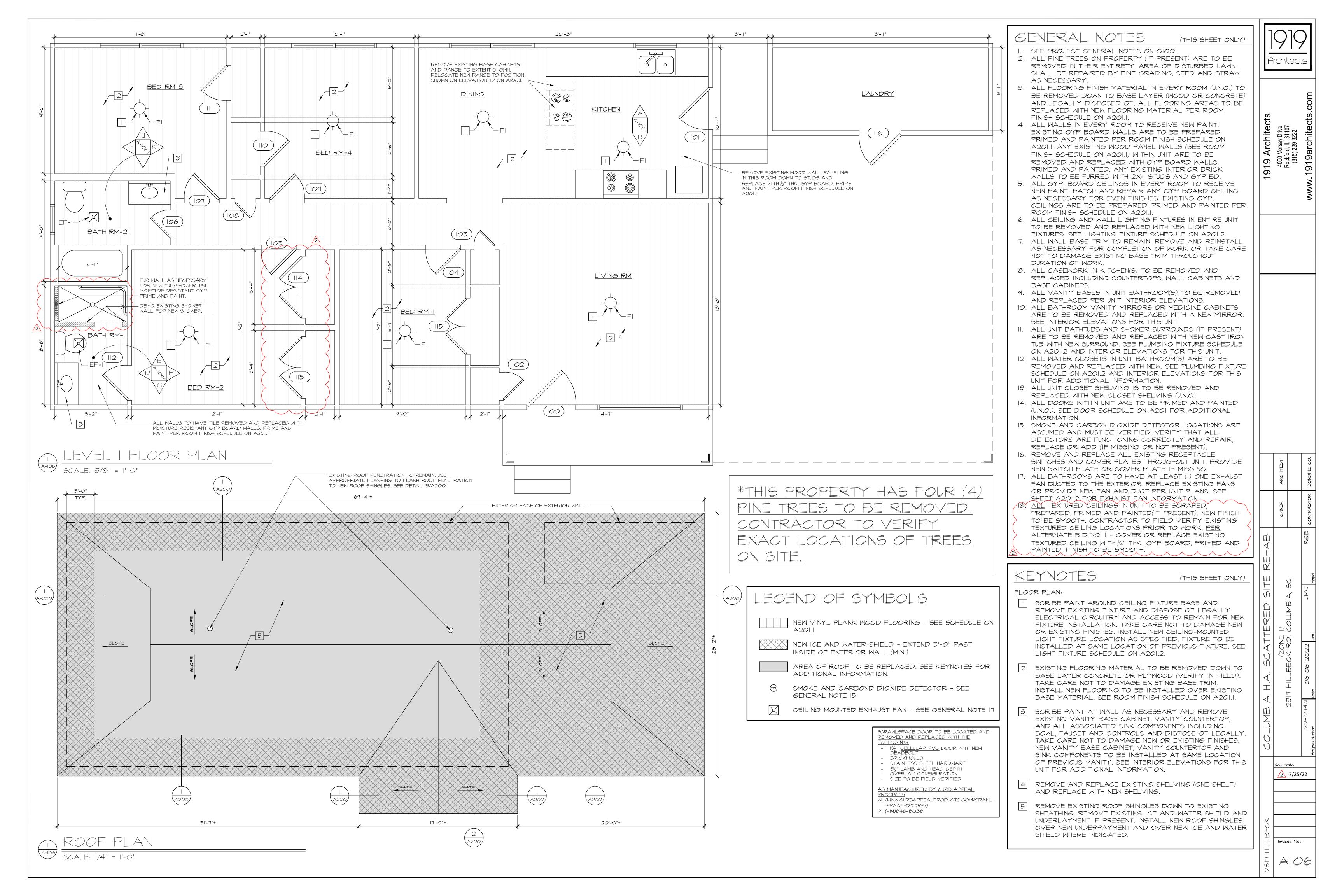


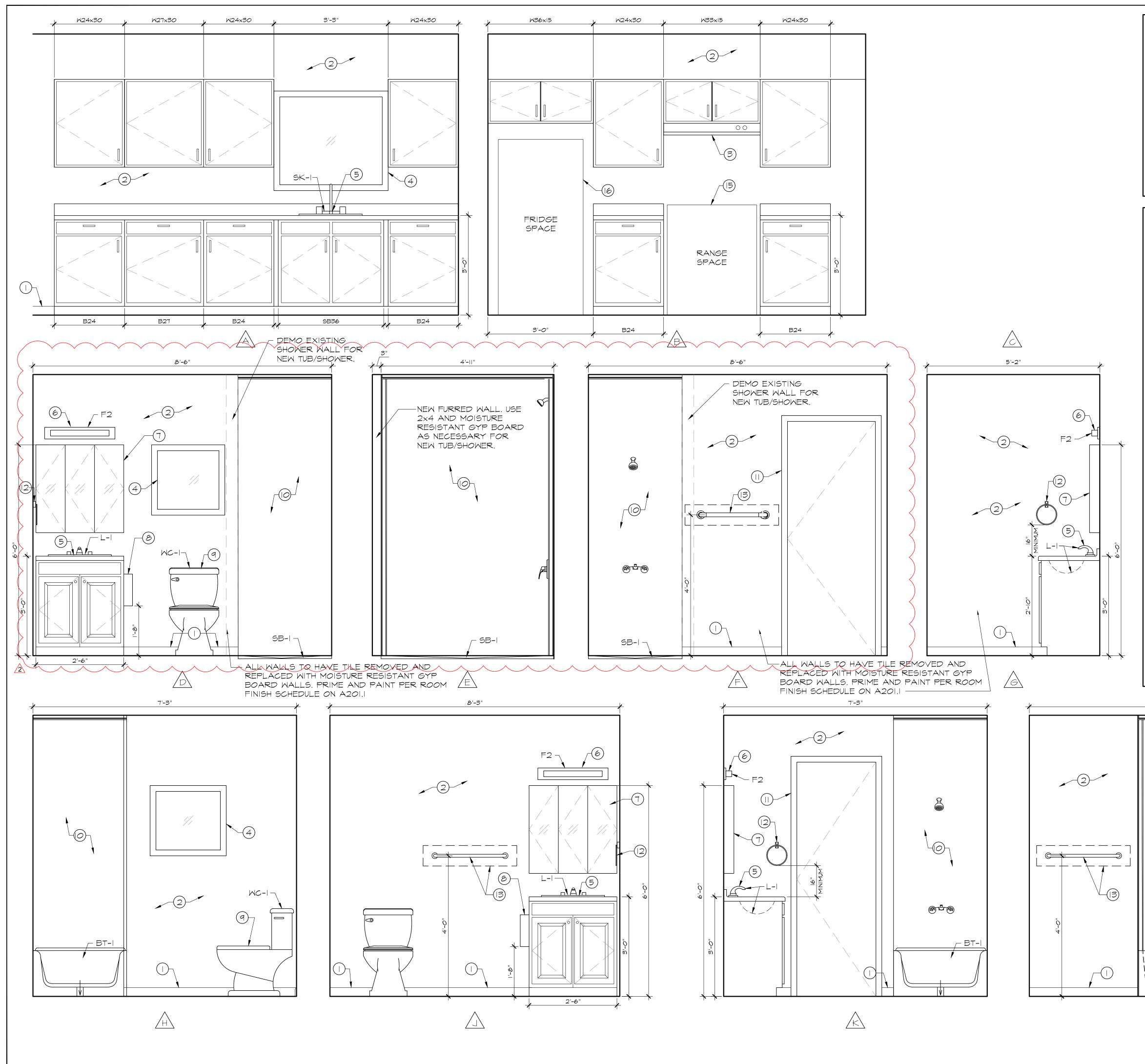
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Ч. 10. 11. 12. 13. 14. 15. 16.	COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK. ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS. ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS. ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT. ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT. ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION. ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O). ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION. SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAR, REPLACE OR ADD (IF MISSING OR NOT PRESENT). REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF MISSING.				
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	 GEND OF SYMBOLS NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1 NEW ICE AND WATER SHIELD - EXTEND 3'-O" PAST INSIDE OF EXTERIOR WALL (MIN.) AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION. SMOKE AND CARBOND DIOXIDE DETECTOR - SEE GENERAL NOTE 15 	COLUMBIA)) Rev.	<u>⊢</u> Date 7/25	20-12



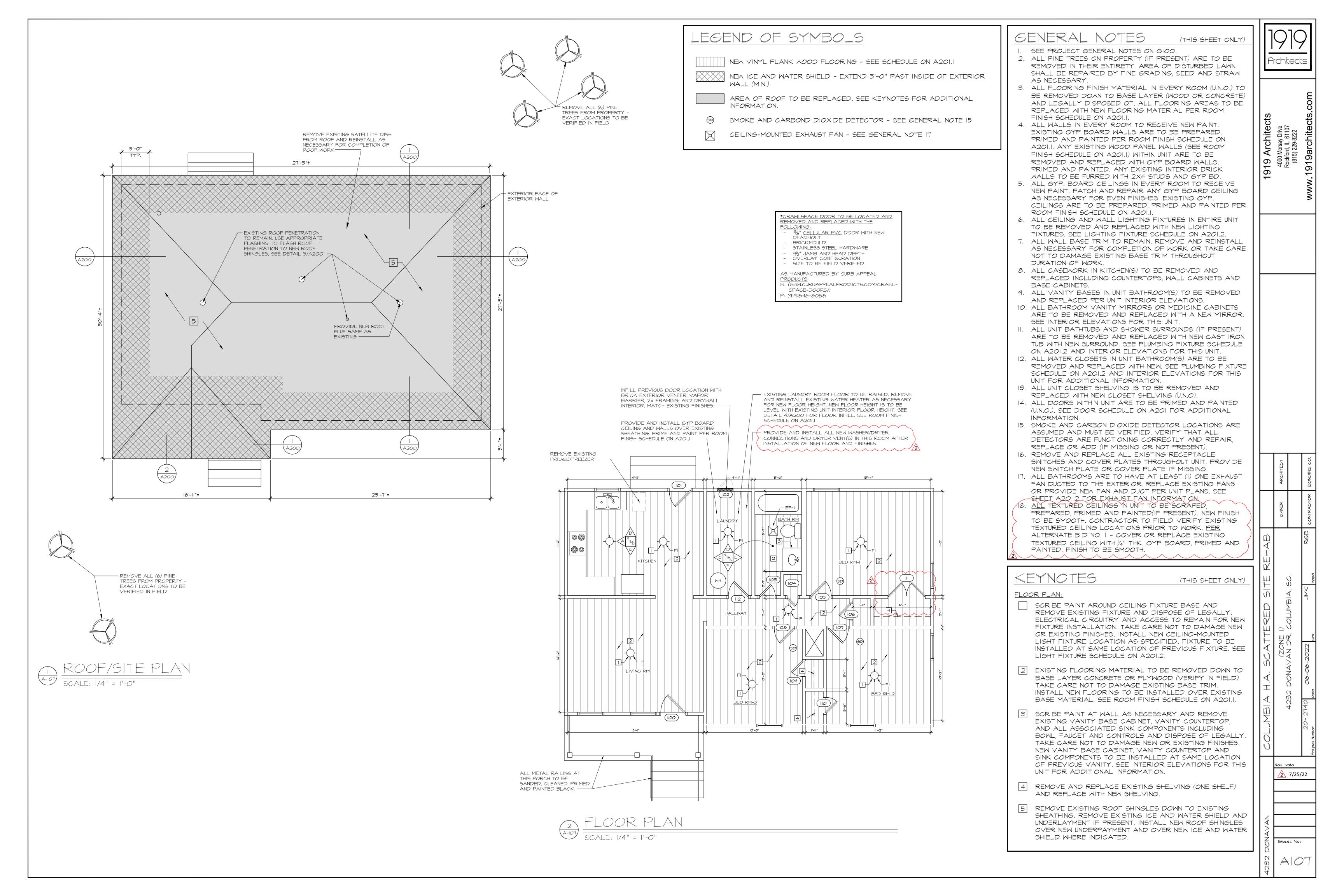


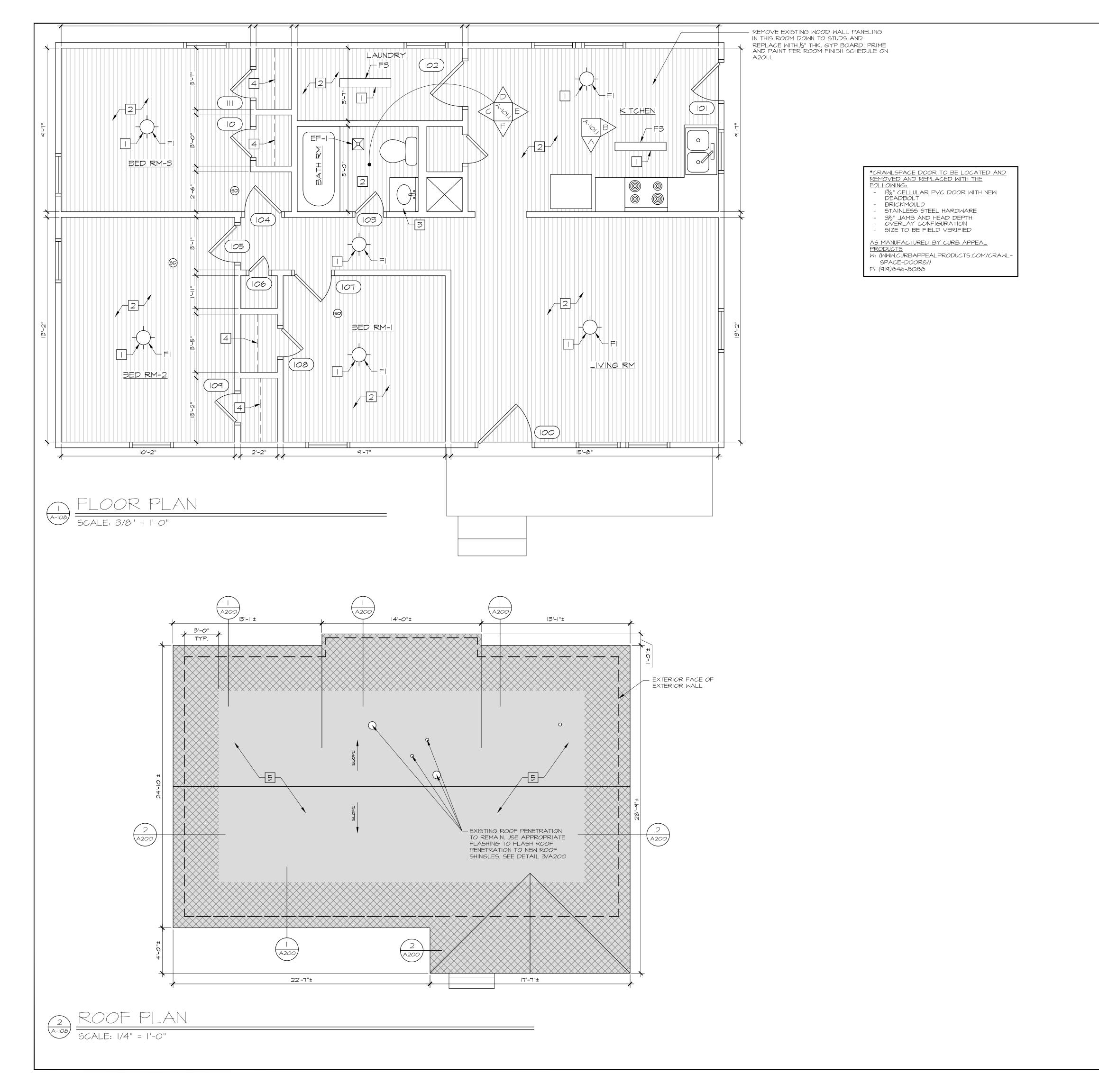
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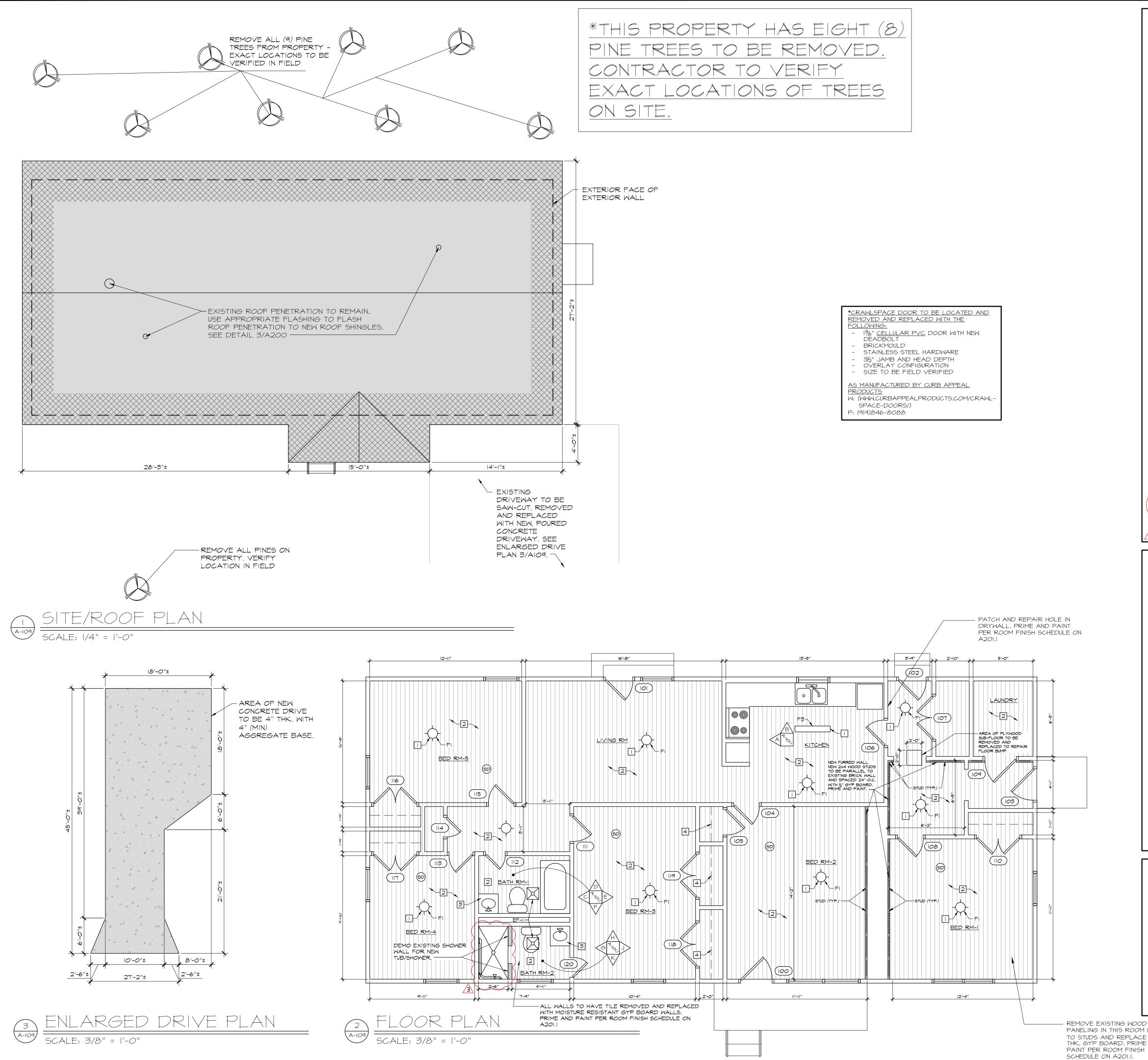


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	BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER LEGEND OF SYMBOLS, SEE ROOM FINISH SCHEDULE ON A201.1.				
З.	ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1.				m
4. 5.	ALL CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING FINISHES ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON 201.1. ALL CEILING LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND		cts		cts.com
6.	REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2. ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE		Architects	4000 Morsay Drive Rockford, IL 61107 (815) 229-8222	9architects
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	EXISTING BASE TRIM - TAKE CARE NOT TO DAMAGE THROUGHOUT DURATION OF WORK.				
2	PRIME AND PAINT EXISTING WALL AND ENTIRE ROOM PER ROOM FINISH SCHEDULE ON 201.1.				
3	REMOVE AND REPLACE EXISTING RANGE HOOD WITH NEW.				
(4)	EXISTING WINDOW AND TRIM TO REMAIN - TAKE CARE NOT TO DAMAGE.				
5	REMOVE AND REPLACE EXISTING SINK COMPONENTS WITH NEW SINK FAUCET, CONTROLS AND BOWL. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.				
6	REMOVE EXISTING WALL MOUNTED VANITY LIGHT FIXTURE. REPLACE WITH NEW WALL-MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.				
7	REMOVE EXISTING MIRROR OR MEDICINE CABINET AND REPLACE WITH NEW WALL-MOUNTED MIRROR OR MEDICINE CABINET WITH DOOR(S). REPAIR DISTURBED DRYWALL, PRIME AND PAINT AS NECESSARY TO MATCH NEW FINISHES. SEE ROOM FINISH SCHEDULE ON A201.1.				
(\mathcal{B})	NEW TOILET PAPER DISPENSER. SEE SPECIFICATION.				
9	REMOVE AND REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET. USE EXISTING SANITARY DRAIN FROM REMOVAL OF WATER CLOSET FOR NEW UNIT LOCATION. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.				
\bigcirc	REMOVE AND REPLACE EXISTING TUB/SHOWER SURROUND AND TUB INCLUDING FAUCETS, CONTROLS, BARS, CURTAIN ROD ETC. NEW TUB TO BE CAST-IRON AND NEW SURROUND IS TO EXTEND FROM TOP OF NEW TUB TO CEILING. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.				
	EXISTING DOOR AND FRAME TO REMAIN. PREPARE DOOR AND FRAME, PRIME AND PAINT PER DOOR SCHEDULE ON A201.			<u> </u>	O
(2)	NEW TOWEL RING - SEE SPECIFICATION SECTION 10 28 00.			CHITECT	NDING C
(13)	NEW 2'-O" LONG HORIZONTAL TOWEL BAR. PROVIDE WOOD BACKING AS NECESSARY BEHIND EXISTING DRYWALL SEE SPECIFICATION SECTION 10 28 00.		_	¥4	B
(4)	NEW TOWEL HOOK - SEE SPECIFICATION SECTION 10 28 00.			OMNER	CONTRACTOR
(15)	NEW RANGE AT THIS LOCATION TO BE INSTALLED - SEE SPECIFICATION.	-	~		QB QB
(6)	FRIDGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW FRIDGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.		$\mathbb{A}_{\mathbb{A}}$		R D
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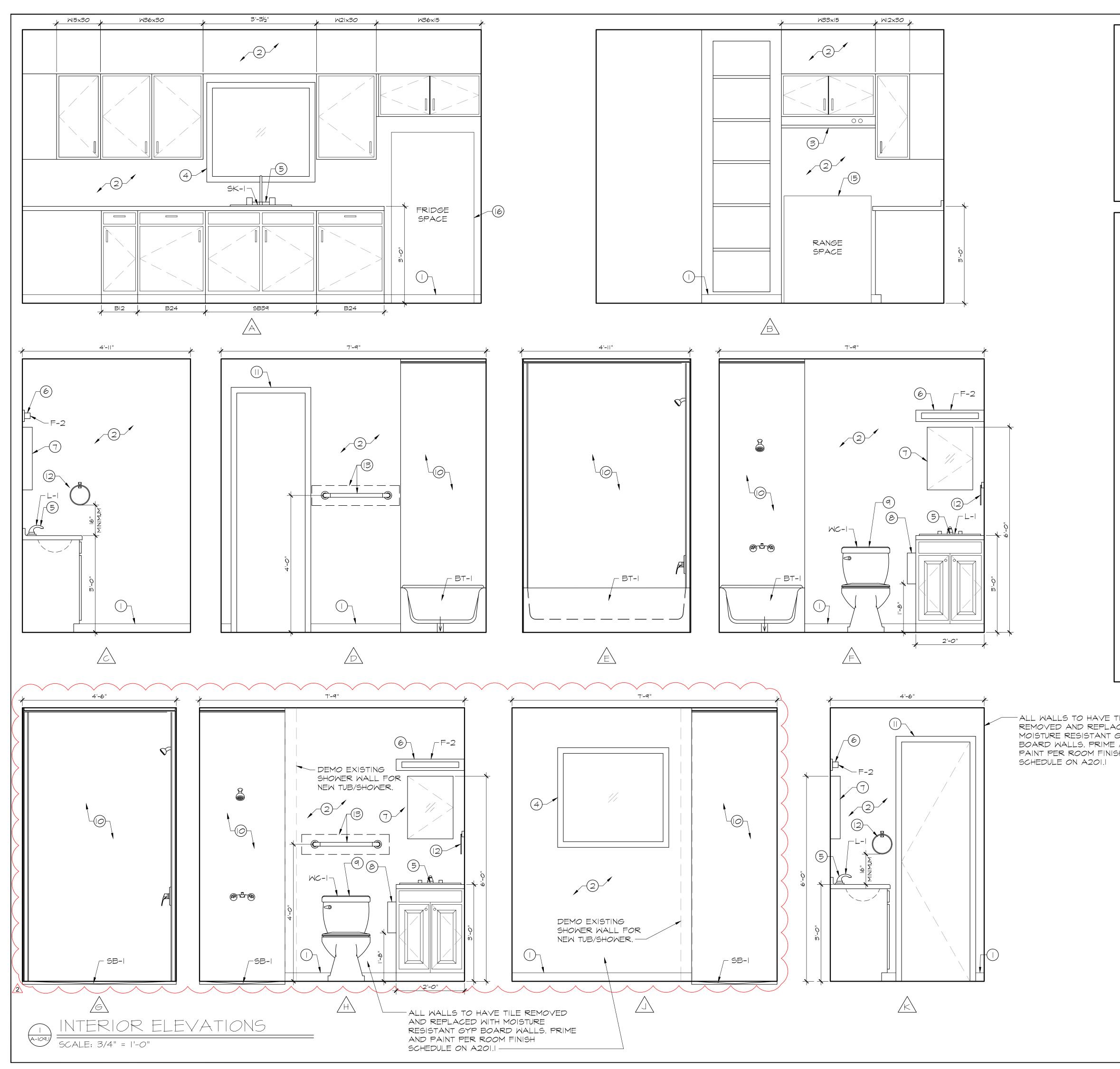




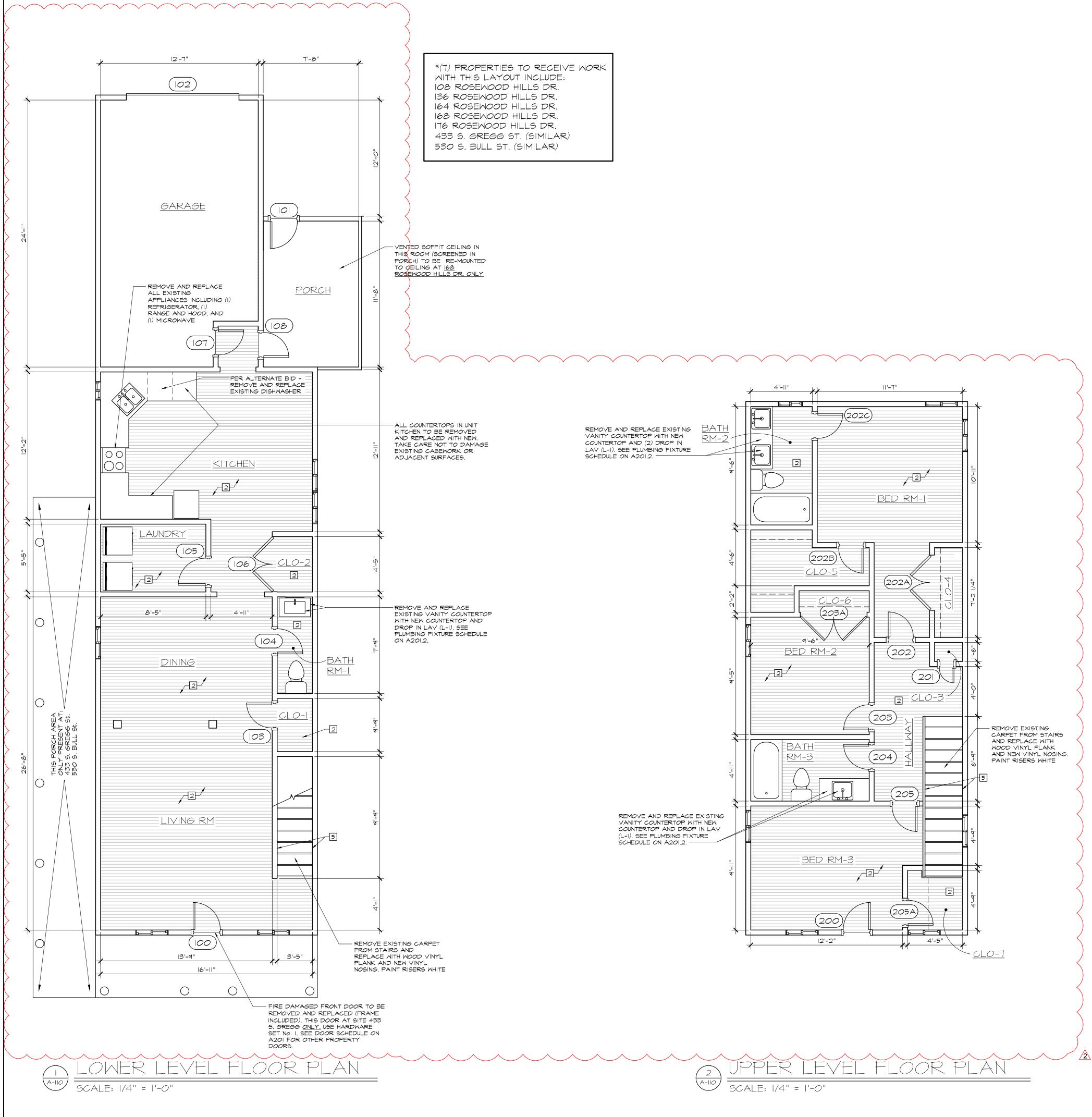
6	ENERAL NOTES (THIS SHEET ONLY)	11	9	\mathbf{O}
۱. 2.	SEE PROJECT GENERAL NOTES ON GIOO. ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING,		Irchite	ects
З.	SEED AND STRAW AS NECESSARY. ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL			
4.	FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM FINISH SCHEDULE ON A201.1. ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH	sts		sts.com
	SCHEDULE ON A201.1. ANY EXISTING WOOD PANEL WALLS (SEE ROOM FINISH SCHEDULE ON A201.1) WITHIN UNIT ARE TO BE REMOVED AND REPLACED WITH GYP BOARD WALLS, PRIMED AND PAINTED. ANY EXISTING INTERIOR BRICK WALLS TO BE FURRED WITH 2×4 STUDS AND GYP BD.	Architects	4000 Morsay Drive Rockford, IL 61107	315) 229-8222 9architects
5.	ALL GYP. BOARD CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING GYP. CEILINGS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH	919 AI	4000 Mo Rockford	。 91
6.	SCHEDULE ON A201.1. ALL CEILING AND WALL LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2.			www.19
	ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK.			
	ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING COUNTERTOPS, WALL CABINETS AND BASE CABINETS. ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER			
	UNIT INTERIOR ELEVATIONS. ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED			
	AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT.			
11.	ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING			
12.	FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT. ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION.			
	ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O).			
	ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION. SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND			
16.	REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT). REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF			
17.	MISSING. ALL BATHROOMS ARE TO HAVE AT LEAST (I) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS, SEE SHEET A201-2 FOR EXHAUST FAN INFORMATION.			
18.	ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND PAINTED (IF PRESENT). NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. PER			
2	ALTERNATE BID NO. 1 - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/4" THK. GYP BOARD, PRIMED AND PAINTED. FINISH TO BE SMOOTH.			
	EYNOTES (THIS SHEET ONLY)		ARCHITECT	BONDING CO.
	<u>OR PLAN:</u> SCRIBE PAINT AROUND CEILING FIXTURE BASE AND REMOVE EXISTING	\vdash		
	FIXTURE AND DISPOSE OF LEGALLY. ELECTRICAL CIRCUITRY AND ACCESS TO REMAIN FOR NEW FIXTURE INSTALLATION. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. INSTALL NEW CEILING-MOUNTED LIGHT FIXTURE LOCATION AS SPECIFIED. FIXTURE TO BE INSTALLED AT SAME LOCATION OF		OMNER	CONTRACTOR
2	PREVIOUS FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2. EXISTING FLOORING MATERIAL TO BE REMOVED DOWN TO BASE LAYER CONCRETE OR PLYWOOD (VERIFY IN FIELD). TAKE CARE NOT TO DAMAGE	EHAB		RGB
	EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1.			ppdd.
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5	REMOVE EXISTING ROOF SHINGLES DOWN TO EXISTING SHEATHING. REMOVE EXISTING ICE AND WATER SHIELD AND UNDERLAYMENT IF PRESENT. INSTALL	ν υ		-06-2
	NEW ROOF SHINGLES OVER NEW UNDERPAYMENT AND OVER NEW ICE AND WATER SHIELD WHERE INDICATED.	₹.H	4316 11	06. Date
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	NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1			2(Project Number
	NEW ICE AND WATER SHIELD - EXTEND 3'-O" PAST INSIDE OF EXTERIOR WALL (MIN.)		Rev. Dat	8
	AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION.		<u>/2</u> 7	/25/22
	 SMOKE AND CARBOND DIOXIDE DETECTOR - SEE GENERAL NOTE 15 CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17 			
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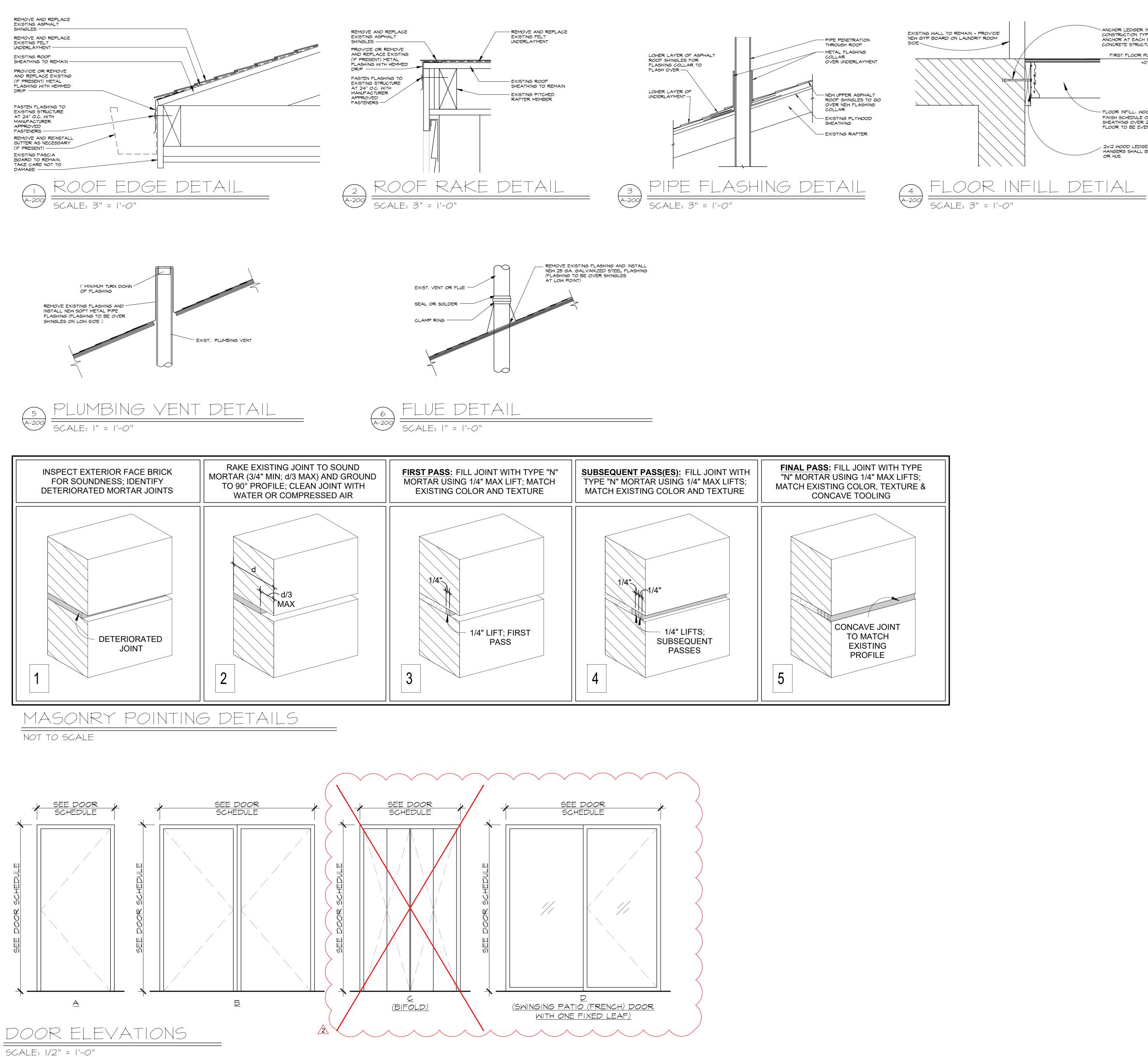
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4.	FINISH SCHEDULE ON A201.1. ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH	ts			ts.com
	SCHEDULE ON A201.1. ANY EXISTING WOOD PANEL WALLS (SEE ROOM FINISH SCHEDULE ON A201.1) WITHIN UNIT ARE TO BE REMOVED AND REPLACED WITH GYP BOARD WALLS, PRIMED AND PAINTED. ANY EXISTING INTERIOR BRICK	Architects	ty Drive 61107	-8222	9architects
5.	WALLS TO BE FURRED WITH 2x4 STUDS AND GYP BD. ALL GYP. BOARD CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING	6	4000 Morsay Drive Rockford II 61107	(815) 229	19arc
6.	GYP. CEILINGS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. ALL CEILING AND WALL LIGHTING FIXTURES IN ENTIRE UNIT TO BE REMOVED AND	191	7 U	-	www.191
٦.	REPLACED WITH NEW LIGHTING FIXTURES. SEE LIGHTING FIXTURE SCHEDULE ON A201.2. ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR				\sim
8.	COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK. ALL CASEWORK IN KITCHEN(S) TO BE REMOVED AND REPLACED INCLUDING				
	COUNTERTOPS, WALL CABINETS AND BASE CABINETS. ALL VANITY BASES IN UNIT BATHROOM(S) TO BE REMOVED AND REPLACED PER UNIT INTERIOR ELEVATIONS.				
	ALL BATHROOM VANITY MIRRORS OR MEDICINE CABINETS ARE TO BE REMOVED AND REPLACED WITH A NEW MIRROR. SEE INTERIOR ELEVATIONS FOR THIS UNIT. ALL UNIT BATHTUBS AND SHOWER SURROUNDS (IF PRESENT) ARE TO BE REMOVED AND REPLACED WITH NEW CAST IRON THE WITH NEW SURROUND SEE PLUMBING				
12.	AND REPLACED WITH NEW CAST IRON TUB WITH NEW SURROUND. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR ELEVATIONS FOR THIS UNIT. ALL WATER CLOSETS IN UNIT BATHROOM(S) ARE TO BE REMOVED AND REPLACED WITH NEW. SEE PLUMBING FIXTURE SCHEDULE ON A201.2 AND INTERIOR				
13.	ELEVATIONS FOR THIS UNIT FOR ADDITIONAL INFORMATION. ALL UNIT CLOSET SHELVING IS TO BE REMOVED AND REPLACED WITH NEW CLOSET SHELVING (U.N.O).				
	ALL DOORS WITHIN UNIT ARE TO BE PRIMED AND PAINTED (U.N.O.). SEE DOOR SCHEDULE ON A201 FOR ADDITIONAL INFORMATION. SMOKE AND CARBON DIOXIDE DETECTOR LOCATIONS ARE ASSUMED AND MUST				
	BE VERIFIED. VERIFY THAT ALL DETECTORS ARE FUNCTIONING CORRECTLY AND REPAIR, REPLACE OR ADD (IF MISSING OR NOT PRESENT). REMOVE AND REPLACE ALL EXISTING RECEPTACLE SWITCHES AND COVER				
	PLATES THROUGHOUT UNIT. PROVIDE NEW SWITCH PLATE OR COVER PLATE IF MISSING. ALL BATHROOMS ARE TO HAVE AT LEAST (I) ONE EXHAUST FAN DUCTED TO THE				
	EXTERIOR. REPLACE EXISTING FANS OR PROVIDE NEW FAN AND DUCT PER UNIT PLANS: SEE SHEET A 2012 FOR EXHAUST FAN INFORMATION. ALL TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND				
	PAINTED(IF PRESENT). NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. <u>PER</u> ALTERNATE BID NO. I - COVER OR REPLACE EXISTING TEXTURED CEILING WITH 1/4"				
2	THK. GYP BOARD, PRIMED AND PAINTED. FINISH TO BE SMOOTH				
	EYNOTES (THIS SHEET ONLY)		RCHITECT		BONDING CO.
<u>FLO</u>	<u>OR PLAN:</u> SCRIBE PAINT AROUND CEILING FIXTURE BASE AND REMOVE EXISTING				0
	FIXTURE AND DISPOSE OF LEGALLY. ELECTRICAL CIRCUITRY AND ACCESS		<		
	FIXTURE AND DISPOSE OF LEGALLY. ELECTRICAL CIRCUITRY AND ACCESS TO REMAIN FOR NEW FIXTURE INSTALLATION. TAKE CARE NOT TO DAMAGE NEW OR EXISTING FINISHES. INSTALL NEW CEILING-MOUNTED LIGHT FIXTURE LOCATION AS SPECIFIED. FIXTURE TO BE INSTALLED AT SAME LOCATION OF		OWNER AF		CONTRACTOR
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	EXISTING BASE TRIM - TAKE CARE NOT TO DAMAGE THROUGHOUT DURATION OF WORK.				
2	PRIME AND PAINT EXISTING WALL AND ENTIRE ROOM PER ROOM FINISH SCHEDULE ON 201.1.				
3	REMOVE AND REPLACE EXISTING RANGE HOOD WITH NEW.				
(4)	EXISTING WINDOW AND TRIM TO REMAIN - TAKE CARE NOT TO DAMAGE.				
5	REMOVE AND REPLACE EXISTING SINK COMPONENTS WITH NEW SINK FAUCET, CONTROLS AND BOWL. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.				
6	REMOVE EXISTING WALL MOUNTED VANITY LIGHT FIXTURE. REPLACE WITH NEW WALL-MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE ON A201.2.				
7	REMOVE EXISTING MIRROR OR MEDICINE CABINET AND REPLACE WITH NEW WALL-MOUNTED MIRROR. REPAIR DISTURBED DRYWALL, PRIME AND PAINT AS NECESSARY TO MATCH NEW FINISHES. SEE ROOM FINISH SCHEDULE ON A201.1.				
B	NEW TOILET PAPER DISPENSER. SEE SPECIFICATION.				
9	REMOVE AND REPLACE EXISTING WATER CLOSET WITH NEW WATER CLOSET. USE EXISTING SANITARY DRAIN FROM REMOVAL OF WATER CLOSET FOR NEW UNIT LOCATION. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.				
\bigcirc	REMOVE AND REPLACE EXISTING TUB/SHOWER SURROUND AND TUB INCLUDING FAUCETS, CONTROLS, BARS, CURTAIN ROD ETC. NEW TUB TO BE CAST-IRON AND NEW SURROUND IS TO EXTEND FROM TOP OF NEW TUB TO CEILING. SEE PLUMBING FIXTURE SCHEDULE ON A201.2.				
	EXISTING DOOR AND FRAME TO REMAIN. PREPARE DOOR AND FRAME, PRIME AND PAINT PER DOOR SCHEDULE ON A201.				
(2)	NEW TOWEL RING - SEE SPECIFICATION SECTION 10 28 00.			ARCHITECT	SONDING CO.
(B)	NEW 2'-O" LONG HORIZONTAL TOWEL BAR. PROVIDE WOOD BACKING AS NECESSARY BEHIND EXISTING DRYWALL SEE SPECIFICATION SECTION 10 28 00.			ARG	ш —
(14)	NEW TOWEL HOOK - SEE SPECIFICATION SECTION 10 28 00.			OWNER	CONTRACTOR
(15)	RANGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW RANGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.		m		RGB C
6	FRIDGE AT THIS LOCATION TO BE REMOVED AND REPLACED WITH NEW. NEW FRIDGE SHALL BE IN SAME LOCATION AS PREVIOUS UNIT. SEE SPECIFICATION.		REHAI		۵Ž
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 <u>GENERAL NOTES</u> (THIS SHEET ONLY) I. SEE PROJECT GENERAL NOTES ON GIOO. 2. ALL PINE TREES ON PROPERTY (IF PRESENT) ARE TO BE REMOVED IN THEIR ENTIRETY. AREA OF DISTURBED LAWN SHALL BE REPAIRED BY FINE GRADING, SEED AND STRAW AS NECESSARY. 3. ALL FLOORING FINISH MATERIAL IN EVERY ROOM (U.N.O.) TO BE REMOVED DOWN 	F	19 Archite	9 ects
 ALL TECONING HINDI MATERIAL IN LYEIN NEOCHTONIC, DE DE NEURO DE DEVIN TO BASE LAYER (WOOD OR CONCRETE) AND LEGALLY DISPOSED OF. ALL FLOORING AREAS TO BE REPLACED WITH NEW FLOORING MATERIAL PER ROOM FINISH SCHEDULE ON A201.1. ALL WALLS IN EVERY ROOM TO RECEIVE NEW PAINT. EXISTING GYP BOARD WALLS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. ANY EXISTING WOOD PANEL WALLS (SEE ROOM FINISH SCHEDULE ON A201.1) WITHIN UNIT ARE TO BE REMOVED AND REPLACED WITH GYP BOARD WALLS, PRIMED AND PAINTED. ANY EXISTING INTERIOR BRICK WALLS TO BE FURRED WITH 2x4 STUDS AND GYP BD. ALL GYP. BOARD CEILINGS IN EVERY ROOM TO RECEIVE NEW PAINT. PATCH AND REPAIR ANY GYP BOARD CEILING AS NECESSARY FOR EVEN FINISHES. EXISTING GYP. CEILINGS ARE TO BE PREPARED, PRIMED AND PAINTED PER ROOM FINISH SCHEDULE ON A201.1. ALL WALL BASE TRIM TO REMAIN. REMOVE AND REINSTALL AS NECESSARY FOR COMPLETION OF WORK OR TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM THROUGHOUT DURATION OF WORK. ALL COUNTERTOPS TO BE REMOVED AND REPLACED INCLUDING KITCHEN COUNTERTOPS AND VANITY COUNTERTOPS FOR NEW LAV FIXTURE ON A201.2. 	1919 Architects	- T	(815) 229-8222 www.1919architects.com
 8. ALL BATHROOMS ARE TO HAVE AT LEAST (I) ONE EXHAUST FAN DUCTED TO THE EXTERIOR. 9. <u>ALL</u> TEXTURED CEILINGS IN UNIT TO BE SCRAPED, PREPARED, PRIMED AND PAINTED. NEW FINISH TO BE SMOOTH. CONTRACTOR TO FIELD VERIFY EXISTING TEXTURED CEILING LOCATIONS PRIOR TO WORK. <u>PER ALTERNATE BID NO. I</u> - COVER OR REPLACE EXISTING TEXTURED CEILING WITH ¹/₄" THK. GYP BOARD, PRIMED AND PAINTED. FINISH TO BE SMOOTH. 			
 KEYNOTES (THIS SHEET ONLY) FLOOR PLAN: NOT USED. EXISTING FLOORING MATERIAL TO BE REMOVED DOWN TO BASE LAYER CONCRETE OR PLYWOOD (VERIFY IN FIELD). TAKE CARE NOT TO DAMAGE EXISTING BASE TRIM. INSTALL NEW FLOORING TO BE INSTALLED OVER EXISTING BASE MATERIAL. SEE ROOM FINISH SCHEDULE ON A201.1. NOT USED NOT USED CLEAN, PREPARE, PRIME AND PAINT ENTIRE EXISTING HANDRAIL OR GUARDRAIL AT THIS LOCATION. TAKE CARE NOT TO DAMAGE EXISTING FINISHES. 			
 LEGEND OF SYMBOLS NEW VINYL PLANK WOOD FLOORING - SEE SCHEDULE ON A201.1 NEW ICE AND WATER SHIELD - EXTEND 3'-O" PAST INSIDE OF EXTERIOR WALL (MIN.) AREA OF ROOF TO BE REPLACED. SEE KEYNOTES FOR ADDITIONAL INFORMATION. SMOKE AND CARBOND DIOXIDE DETECTOR - SEE GENERAL NOTE 15 CEILING-MOUNTED EXHAUST FAN - SEE GENERAL NOTE 17 	HAB	OWNER ARCHITECT	RGB CONTRACTOR BONDING CO.
	ROSEMOOD HILLS UNITS COLUMBIA H.A. SCATTERED SITE REH	(1 JNOZ) (1 JNOZ) Rev MJSCA Rev MJSCA Rev MJSCA Shee	To 20-12140 Project Number Date Date Date Date Date Date Date Date



ANCHOR LEDGER INTO EXISTING CONSTRUCTION; VERIFY CONSTRUCTION TYPE IN FIELD; IF WOOD CONSTRUCTION ANCHOR AT EACH STUD OR AT RIM BOARD @ 12" O.C.; IF CONCRETE STRUCTURE, INSTALL ANCHORS AT 12" O.C. FIRST FLOOR PLAN +0'-0"

-FLOOR INFILL: WOOD VINYL PLANK FLOOR (ROOM FINISH SCHEDULE ON A201.1) OVER $\frac{3}{4}$ " PLYWOOD SHEATHING OVER 2XIO WOOD JOISTS @ 16" O.C.; FINISH FLOOR TO BE EVEN WITH EXISTING FLOOR ELEVATION

2x12 WOOD LEDGER W/ JOIST HANGERS; JOIST HANGERS SHALL BE OF THE SIMPSON TYPE LU, LUS, OR HUS.

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1919 Architects	4000 Morsay Drive	(815) 229-8222	www.1919architects.com
	ARCHITECT		BONDING CO
	OWNER		CONTRACTOR BONDING CO.
BIA H.A. SCATTERED SITE REHAB		·	JMK Appd. RGB
A H.A. SCATTER		COLUMBIA, 5C.	0 06-06-2022 Drn.
COLUMBI			20-12740 Project Number
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No. (S	ELEV. 6HEET 200)	MAT'L	DC WIDTH	HEIGHT	THKNESS	FRAME MAT'L	HARD- WARE	NOTES	OPNG. No.	ELEV.	MAT'L	WIDTH	POR HEIGHT	THKNESS	FRAME MAT'L	HARD- WARE	NOTES	OPNG. No. ELEV.
26 THISTLE	CT.	HM	3'-0"	6'-8"	3/4"			1, 2	1620 HOI	LLINGSHED	RD. (CON HM	NTINUED) 2'-8"	6'-8"	3/4"	WD		1, 2	4817 FAULKLAND
	A	HM	2'-8"	6'-8"	3/4"			I, 2	102	A	WD	2'-0"	6'-8"	3/4"		3	1, 2	
102	A	WD	2'-6"	6'-8"	3/4"		2	I, 2	103	A	WD	2'-0"	6'-8"	3/4"	WD	3	1, 2	116 B
103	в	WD	5'-0"	6'-8"	3/4"	WD	4	1, 2	104	A	WD	2'-6"	6'-8"	3/4"	WD	2	1, 5	117 B
104	B		5'-0" 2'-6"	6'-8"	3/4"			I, 2 I, 2	105	A		2'-6" 2'-6"	6'-8" 6'-8"	3/4" 3/4"		2	1, 5	8 B 9 B
200	A		2-0	6'-8"	3/4"		2	1, 2	100	A	WD	2-0"	6'-8"	3/4"	WD	3	1, 2	20 A
202	A	WD	2'-6"	6'-8"	3/4"		2	I, 2	108	A	WD	2'-0"	6'-8"	3/4"	WD	2	1, 2	ROSEWOOD HILL
203	A	WD	2'-6"	6'-8"	3/4"	ND	2	Ι, 2	109	A	WD	2'-0"	6'-8"	3/4"	WD	(3)	1, 2	100 A
204	A B		2'-6" 2'-0"	6'-8"	3/4"		2	1, 2		A		2'-0" 2'-0"	6'-8" 6'-8"	3/4" 3/4"		3	I, 2 I, 2	- 101 A 102 -
205	B		3'-0"	6'-8"	3/4"			1, 2	2	A	WD	2-0"	6'-8"	3/4"	WD		1, 5	- 102 - 103 A
207	в	WD	3'-0"	6'-8"	3/4"	WD	$\left(\begin{array}{c} 4 \end{array} \right)$	I, 2	3	A	НМ	3'-0"	6'-8"	3/4"	WD	$\left\langle 1\right\rangle$	1, 2	
41 SALVIA C	CT.		1	1		1			2317 HILL	BECK DR	•					$\left\{ \right\}$		105 A
001	A	HM	2'-8"	6'-8"	3/4"	HM		1, 5	100	A	HM	3'-0"	6'-8"	3/4"			1, 2	- 106 B 107 A
100		HM HM	3'-0" 6'-0"	6'-8"	3/4"			1, 2, 9	0	A	HM WD	3'-0" 2'-0"	6'-8" 6'-8"	3/4"			1, 2	- 107 A 108 A
102	A	WD	2'-6"	6'-8"	3/4"			1, 2	102	A	WD	'-6"	6'-8"	3/4"	WD		1, 2	200 A
103	В	WD	4'-0"	6'-8"	3/4"	WD	4	I, 2	104	A	WD	2'-6"	6'-8"	3/4"	WD	2	1, 2	201 A
200	A	WD	2'-6"	6'-8"	3/4"	WD	2	1, 2	105	A	WD	2'-6"	6'-8"	3/4"	WD	2	1, 2	202 A
201	B		3'-0"	6'-8"	3/4"			1, 2	106	A		2'-0"	6'-8"	3/4"		$\left(\begin{array}{c} 2 \\ 2 \end{array}\right)$	1, 2	202A B 202B A
202 203	A A		2'-6" 2'-6"	6'-8"	3/4"			I, 2 I, 2	107	A	WD WD	2'-6" 2'-6"	6'-8" 6'-8"	3/4" 3/4"		$\left(\begin{array}{c} 2 \\ 3 \end{array}\right)$	I, 2 I, 2	- 2026 A 202C A
203	A	WD	2-0 2'-6"	6'-8"	3/4"			I, 2	100	A	WD	2-0	6'-8"	3/4"	ND ND	2	1, 2	203 A
205	В	WD	3'-0"	6'-8"	3/4"	WD	4	I, 2	110	A	WD	2'-6"	6'-8"	3/4"	WD	3	1, 2	2 <i>0</i> 3А (В
206	A	WD	2'-6"	6'-8"	3/4"		2	I, 2		A	WD	2'-6"	6'-8"	3/4"	WD	(3)	1, 2	204 A
207	B		3'-0"	6'-8"	3/4"		4	1, 2		A	WD	2'-6"	6'-8"	3/4"		2	1, 2	_ 205 A 205A A
208 109 PEACHT		WD	3'-0"	6'-8"	3/4"	WD		1, 2	3	B B	WD WD	4'-0" 4'-0"	6'-8" 6'-8"	3/4"		$\left(\begin{array}{c} 4\\ 4\end{array}\right)$	1, 2	
000	A	HM	3'-0"	6'-8"	3/4"	HM		1, 5	5	B	WD	4'-0"	6'-8"	3/4"	WD	$\left(\begin{array}{c} 1\\ 4\end{array}\right)$	1, 2	DOOR SCHEDUL
100	в	HM	5'-0"	6'-8"	3/4"	HM	(2)	1, 5	116	A	WD	3'-0"	6'-8"	3/4"	WD	5 1 5	1, 2	- I. PAINT DOOF 2. EXISTING DO
101	A	HM	3'-0"	6'-8"	3/4"	HM		Ι, 2	-	DNAVAN DI			1			$\left\{ \right\}$		3. EXISTING FR 4. EXISTING Da
102	A		3'-0"	6'-8"	3/4"			1, 5		A	HM HM	3'-0"	6'-8"	3/4"			1, 2	5. REMOVE AN 6. NEW DOOR
103	A A		2'-8" 2'-6"	6'-8"	3/4"			I, 4 I, 2	0	A	-	2'-8"	6'-8"	- 3/4		$\left\langle \begin{array}{c} 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 \\ 1 $	I, 2 REMOVE AND INFILL DOOR - SEE AIO	- 7. PROVIDE AI
105	A	WD	2'-0"	6'-8"	3/4"		2	1, 2	103	A	HM	2'-0"	6'-8"	3/4"	WD	2	1, 2	9. PROVIDE A
106	A	WD	2'-8"	6'-8"	3/4"		2	I, 2	104	A	WD	'-6"	6'-8"	3/4"	WD	3	1, 2	
107	A	WD	2'-0"	6'-8"	3/4"		3	Ι, 2	105	A	HM	2'-6"	6'-8"	3/4"	WD	$\langle 2 \rangle$	1, 2	DOOR HARDWARE
108	A		2'-6" 2'-8"	6'-8"	3/4"		2	1, 2	106	A	HM HM	2'-0"	6'-8" 6'-8"	3/4"		3	1, 2	
109	A		2-0	6'-8"	3/4"			I, 2, 7 I, 2, 3	107	A	HM	2'-6" 2'-6"	6'-8"	3/4"		2 2	I, 2 I, 2	FOR EXTERIC
	B	WD	4'-0"	6'-8"	3/4"	WD		1, 2	109	A	HM	2'-0"	6'-8"	3/4"	WD		1, 2	
112	в	WD	4'-0"	6'-8"	3/4"	WD	4	1, 2	110	A	HM	2'-0"	6'-8"	3/4"	WD	(3)	1, 2	(3) EA (1) EA
113	A	WD	2'-6"	6'-8"	3/4"	WD		I, 2		В	WD	4'-0"	6'-8"	3/4"	WD	4	1, 2	(1) EA (1) SET
218 BARGER		НМ	3'-0"	6'-8"	3/4"	WD		1, 5	4316 LEE	- A =DS ST	HM	2'-0"	6'-8"	3/4"	WD	2	1, 6	- (1) EA
	В	НМ	5'-10"	6'-8"	3/4"			1, 2		A	НМ	3'-0"	6'-8"	3/4"	WD	$\left\langle \right\rangle$	1, 2	
102	A	WD	'-8"	6'-8"	3/4"	WD	3	I, 2	101	A	HM	2'-8"	6'-8"	3/4"	WD	<u> </u>	1, 2	
103	A	WD	2'-6"	6'-8"	3/4"		2	Ι, 2	102	A	WD	3'-0"	6'-8"	3/4"	WD	2	1, 2	$\left \begin{array}{c} \swarrow \\ & \blacksquare \end{array} \right \left \begin{array}{c} (1) \\ & \blacksquare \end{array} \right \left \begin{array}{c} \blacksquare \\ & \blacksquare \end{array} \right $
104	A		2'-0"	6'-8"	3/4"			1, 2	103	A	HM	2'-0"	6'-8"	3/4"		$\left(\begin{array}{c} 2 \\ 2 \end{array}\right)$	1, 2	
105	A A		'-6" 2'-6"	6'-8"	3/4"			I, 2 I, 2	104	A		2'-6" 2'-6"	6'-8" 6'-8"	3/4" 3/4"		2	I, 2 I, 2, 8	
100	A	WD	2'-6"	6'-8"	3/4"			I, 2	106	A	WD	'-6"	6'-8"	3/4"	WD	3	1, 2	FOR SINGLE
108	A	WD	2'-0"	6'-8"	3/4"	WD	3	I, 2	107	A	WD	2'-6"	6'-8"	3/4"	WD	2	1, 5	
109	A	WD	2'-6"	6'-8"	3/4"	WD	3	1, 2	108	A	WD	2'-6"	6'-8"	3/4"			1, 5	(1) EA HINGES BY PF
	A A		2'-6" 2'-6"	6'-8"	3/4"		2 2 2 2	I, 2 I, 2	109	A		2'-0" 2'-0"	6'-8" 6'-8"	3/4"		3)	I, 2 I, 2	
817 RIVERWA	, .		2-0	0-0						A		2-0	6'-8"	3/4			1, 2	- QTY FOR <u>DOUBLE</u>
100	A	HM	3'-0"	6'-8"	3/4"	WD		I, 2		JLKLAND F					I	$\langle \rangle$	I	- 4 (2) EA
101	A	WD	2'-8"	6'-8"	3/4"	WD		1, 2	100	A	HM	3'-0"	6'-8"	3/4"	WD		1, 2	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$
102	A	WD	2'-0"	6'-8"	3/4"		3)	1, 2		A	HM	6'-0"	6'-8"	3/4"		$\left\langle \begin{array}{c} & \\ & \\ \end{array} \right\rangle$	1, 2	- (2) EA HINGES BY P
103	A A		2'-6" 2'-0"	6'-8"	3/4"			I, 2 I, 2	102	A	HM HM	2'-8" 3'-0"	6'-8" 6'-8"	3/4"			I, 2 I, 2	
104	A	WD	2-0	6'-8"	3/4"			I, 2 I, 2	103	A		2'-6"	6'-8"	3/4"			1, 2	
106	A	WD	'-6"	6'-8"	3/4"	WD	3	I, 2	105	A	WD	2'-6"	6'-8"	3/4"	WD	3	1, 2	
107	A	WD	2'-0"	6'-8"	3/4"	WD	2	1, 2	106	A	WD	2'-6"	6'-8"	3/4"	WD	2	1, 2	5 (1) EA
108	A	WD	2'-0"	6'-8"	3/4"			1, 2	107	B		4'-0"	6'-8"	3/4"		4	1, 2	(3) EA (1) EA
109	B }		5'-0" 5'-0"	6'-8"	3/4"		4	I, 2 I, 2	108	A	WD WD	2'-6" 3'-0"	6'-8" 5'-4"	3/4" 3/4"		2	I, 2 I, 2	- (1) EA (1) EA (1) SET
	A	WD	2'-6"	6'-8"	3/4"		3	I, 2		B	WD	2'-0"	5-4 6'-8"	3/4"		$\begin{pmatrix} 2 \\ 4 \end{pmatrix}$	1, 2	$- \left\langle \begin{array}{c} (1) & \text{SET} \\ (1) & \text{EA} \end{array} \right\rangle$
2	В	WD	5'-0"	6'-8"	3/4"	WD	4	I, 2		A	WD	2'-6"	6'-8"	3/4"	WD	2	1, 2	
1620 HOLLIN	NGSHED						$\left\{ \right\}$		2	A	WD	2'-0"	6'-8"	3/4"	WD	2	1, 2	
100	A	ΗM	3'-0"	6'-8"	3/4"	WD		।, 5, 9	113	A	WD	2'-6"	6'-8"	3/4"	WD	2	1, 5	*DOOR TYPE ELEN
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		DC	OR		FRAME		NOTES				\frown	
✓.	MAT'L		HEIGHT	THKNESS	MAT'L	HARD- WARE					\mathcal{A}	7
	RD. (CONTI	NUED)	1	1						Ar	chited	ts
	WD	2'-0"	6'-8"	3/4"	МD	3) , 2					
	WD	2'-6"	6'-8"	3/4"	WD	2	1, 2		_			
		4'-0"	6'-8"	3/4"		4) , 2		_			m
		4'-0" 4'-0"	6'-8"	3/4"			, 2		_			CC.
		4'-0"	6'-8"	3/4"		4	1, 2		_	cts		cts
		2'-0"	6'-8"	3/4"		2) 1, 2		_	nite	Drive 61107 8222	nite
LS				R (7 PROPE		SEE SHE	<u> </u>		-	Architects	4000 Morsay Drive Rockford, IL 61107 (815) 229-8222	919architects.com
	HM	3'-0"	6'-8"	3/4"	WD	-	1, 2			-	000 M ockfor (815)	19a
	HM	3'-0"	6'-8"	3/4"	WD	-	1, 2			919	4 K	19`
	-	_	-	-	-	-	1, 2			~		Ň
		2'-4"	6'-8"	3/4"		-	, 2		_			www.19
		2'-6" 3'-0"	6'-8" 6'-8"	3/4" 3/4"			, 2 , 2		_			
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	WD	2'-8"	6'-8"	3/4"	WD	-	1, 2		-			
	WD	2'-8"	6'-8"	3/4"	ND	-	1, 2					
	HM	3'-0"	6'-8"	3/4"	МD	-	1, 2					
	WD	3'-0"	6'-8"	3/4"	WD	-	1, 2					
\sim	WD	2'-6"	6'-8"	3/4"	WD	-) 1, 2		_			
		6'-0"	6'-8"	3/4"		4	, 2		_			
		2'-6" 2'-4"	6'-8" 6'-8"	3/4"	WD WD		, 2 , 2		_			
		2'-6"	6'-8"	3/4") 1, 2		-			
$\overline{}$	WD	4'-0"	6'-8"	3/4"	WD	4	1, 2		-			
	WD	2'-4"	6'-8"	3/4"	WD	-	1, 2		_			
	WD	2'-6"	6'-8"	3/4"		-	1, 2					
	WD	2'-6"	6'-8"	3/4"	WD		1, 2					
ЛЕ	NOTES:						2					
AND R AN AND AND		EXISTING AME IN EX NEW DOOI NEW DOOI	DOOR(S) XISTING W, RKNOB. R HINGE.	TING DOOF PER SCHEI ALL.								co.
RE S	ETS										ARCHITECI	BONDING (
				5 No.		NISH M	ANUFACTUR	RER			Ω2	
				ING HARDW,					$\left \right\rangle$		OWNER	CONTRACTOR
	PEAD BOLT IINGE		BEON CE	N 8 MANUF.	61		СН		$\left \right\rangle$			Ť
	ASSAGE SE OOR STOP		SIOD NEF 060	>		26 S 26 IV			$\left \right\rangle$	Ŋ		RGB
S	EALS HRESHOLD		BY DOOR						$\left(\right)$	$\left \begin{array}{c} \left \right\rangle \\ \left \left\rangle \\ \left \right\rangle \\ \left \right\rangle \\ \left \right\rangle \\ \left \left\rangle \\ \left \right\rangle \\ \left \right\rangle \\ \left \left\rangle \\ \left \right\rangle \\ \left \left\rangle \\ \left \right\rangle \\ \left \left\rangle \\ \left \left\rangle \\ \left \right\rangle \\ \left \left\rangle \\ \left \left$		
I												
				5 No.			ANUFACTUR	RER				Appd.
2R (1	BED/BATH)	DOORS, US	BE THE FOL	LOWING HAF	RDWARE S	ET:				\vdash		
P	RIVACY LC	DCK	540 NEF	b	61	26 S	CH /E			С О		¥ ∑ ∖
	HUNG DOOR				0.	20 14	L-					
		N		5 NO.					-)		о С О	
				OLLOWING H			ANDFACTUR					Dr.
				2 1.375" THK			<u>с.</u> ц			\mathbb{A}	COLUMBIA,	2022
	OOR STOP		060	1.979 IIIK		52 IV				U Ю		
PRE	HUNG DOOR	(MANUFAC	IURER								U	-90-
	ESCRIPTIO	N	CATALOG	5 No.	FI	NISH M		RER		Ì.		90
E CL	OSET (PAIR	<u>r)</u> doors,	USE THE FO	DLLOWING H	ARDWARE	SET:				\triangleleft		Date
	DOOR STOP					26				$\overline{\mathbb{O}}$		214(
	NUMMY LEVE Roller lat		SI70-NEP RL30A			26 S 26 Iv	CH Æ			\sum		20-I
PRE	HUNG DOOR	X MANUFAC	TURER							$\overline{\bigcirc}$		Numbe
	ESCRIPTIO	N		CATAL	_0G No.		FINISH	MANUFACTURER		Ŭ		20-12740 Project Number
н ст	YLE (41 SA	LVIA CT P		<u>(ONLY)</u> doc	ORS, USE T	HE FOLLC	WING HARE	DWARE SET:			Rev. Date	
LEA	R GLASS P	RIMED STE	EL PREHUN	G RIGHT-HA	ND INSWIN	G FULL LI	TE STATION	NARY PATIO DOOR	_ع)	ľ	2 7/25	5/22
	EADBOLT I			B60N			626	SCH		ľ		
H	INGE PASSAGE SE				OR MANUF	= .	626 626	SCH		ĺ		
	DOOR STOP					_	626 626	IVE	$\left \right\rangle$	ЦЦ		
	EALS HRESHOLD				OR MANUF OR MANUF				$\left \right\rangle$	Inc.		
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EVA	TIONS ARE	LOCATED	ON SHEET	A200*						00	A2	O
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ITEM MANU TAG MANU EF-I NUTON HB80 REMARKS I. VERIF 2. ELECT 3. PROV 4. THE E LIMIT

	LIGHT TIXTURE SCHEDULE	
FIXTURE TYPE	FIXTURE	COMMENT
F١	I-LUMINOSITY MODEL: ILPLMIHO-SQ-24W-3000K-WH	SIZE: 12"
F2	I-LUMINOSITY MODEL: ILSCPBWC-I5W-3000K-AL	SIZE: 18"
F3	LITHONIA MODEL: 11430-RE-WH	WHITE

				E	XHAUST	FAN SC	HEDULE				
ANUFACTURER AND MODEL NUMBER	CFM	ESP	SONES	ELECTRICAL DATA			CONTROLLED VIA	DAMPER TYPE	AREA SERVING	UNIT WEIGHT	REMARKS
				VOLT-PH-HZ	ЧĦ	RPM	CONTROLLED VIA		AREA JERVINO	(LBS)	
TONE 380RL	80	0.10	2.5	20- -60	_	_	WALL SWITCH	INTEGRAL GRAVITY	SEE PLAN	Т	ALL

. VERIFY EXACT VOLTAGE PRIOR TO ORDERING EQUIPMENT.

2. ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECT SWITCH AND LINE WIRING.

 PROVIDE HOODED WALL CAP, BRICK VENT, PITCHED ROOF CAP, OR FLAT ROOF CAP AS REQUIRED.
 THE EQUIPMENT SCHEDULED IS TO SET STANDARDS, INTENTION IS "OR EQUAL" PENDING APPROVED SUBMITTALS. APPROVED ALTERNATIVES INCLUDE, BUT ARE NOT LIMITED TO: LOREN COOK, GREENHECK, TWIN CITY, AND ACME.

TYPE	FIXTURE "AMERICAN STANDARD" MODEL: 0476,037 AQUALYN LAVATORY.			chite	
∟-1	"AMERICAN STANDARD" MODEL ONTO 027 A OUAL VALLAS (A TODY				əcts
	"AMERICAN STANDARD" MODEL: 0416.031 AQUALYN LAVATORY. VITREOUS CHINA, DROP-IN, FRONT OVERFLOW, FAUCET LEDGE, FAUCET HOLES ON 4" CENTERS.		<u> </u>		
	"SYMMONS" MODEL #S-60-H SINGLE HANDLE METERING LAVATORY FAUCET WITH VANDAL RESISTANT 0.5GPM FLOW RESTRICTOR.		S		
	"SYMMONS" MODEL #5-120-CK POINT-OF-USE THERMOSTATIC MIXING VALVE WITH INTEGRAL CHECKS. (SET TEMP. SHALL NOT EXCEED 110 DEGREES F).		Architects	ay Drive _ 61107	(815) 229-8222
	"MCGUIRE" MODEL #PW2I502CPRO SEAMLESS PRE-WRAPPED ADJUSTABLE P-TRAP KIT WITH PRE-WRAPPED PRO-DRAIN OFFSET GRID STRAINER. PROVIDE CHROME PLATED RISER TUBES.		919	4000 Morsay Drive Rockford, IL 61107	C
SK-I	"ELKAY" MODEL #LRAD3322 STAINLESS STEEL DOUBLE BOWL SINK. SINK		~		
	IS SEAMLESSLY DRAWN OF #18 GAUGE, TYPE 304 STAINLESS STEEL. "SYMMONS" MODEL #S-23-1.5 SYMMETRIX SINGLE LEVER KITCHEN FAUCET				
	WITH CERAMIC CONTROL COMPONENTS AND HANDLE LIMIT STOP. 8-1/2" SWING SPOUT WITH AERATOR, 3/8" SUPPLIES, POLISHED CHROME FINISH. "SYMMONS" MODEL #5-210-CK POINT-OF-USE THERMSTATIC MIXING VALVE WITH INTEGRAL CHECKS. (SET TEMPERATURE SHALL NOT EXCEED				
	IIO DEGREES F). PROVIDE CHROM-PLATED P-STRAPS, TAILPIECES, ANGLES STOPS, ESCUTCHEONS AND RISER TUBES AS REQUIRED.				
BT-I	"KOHLER" MODEL: #K-838 (RIGHT-SIDE DRAIN) OR K-837 (LEFT-SIDE DRAIN) BELLWETHER ALCOVE CAST IRON BATH				
	"KOHLER" MODEL #K-PLSI560I FAUCETS - SEE SPEC MIXING VALVE: PRESSURE BALANCED WITH INTEGRAL STOPS SHOWER HEAD: 1.5 GPM WITH WALL SHOWER HEAD FITTING. TUB SPOUT: WALL MOUNTED WITH PULL-UP DIVERTER.				
	PROVIDE 3-SIDED TUB SURROUND FROM TUB TO CEILING; COLOR TO MATCH NEW TUB.				
MC-1	FIXTURES: a. AMERICAN STANDARD. b. KOHLER. c. MANSFIELD. d. SLOAN. e. ZURN. SEATS: a. BEMIS.				
	 b. BENEKE. c. CENTOCO. d. CHURCH. e. OLSONITE 			ARCHITECT	
	MATERIALS (UNLESS OTHERWISE NOTED): A. FIXTURE: WHITE VITREOUS CHINA. B. SEAT: EXTRA HEAVY DUTY ANTIMICROBIAL FIRE RETARDANT PLASTIC SEAT WITH STAINLESS STEEL SELF-SUSTAINING CHECK HINGE.			OWNER	
	FLOOR OUTLET TOILET: ELONGATED BOWL, SIPHON JET, I.I - I.6 GPF COMPATIBLE, I,000 GRAM MAP SCORE RATED, I,000 LB. STATIC LOAD RATING ON END OF BOWL, IO" - I2" ROUGH-IN RANGE, TOP SPUD INLET, I5" - I6" FINAL SEAT HEIGHT. REFER TO ARCHITECTURAL DRAWINGS FOR INSTALLATION DIMENSIONS.		REHAB		808 808
SB-I	"DREAMLINE" MODEL: #DLT-1036541 SLIMLINE SHOWER BASE (LEFT DRAIN) 54"W x		$\frac{11}{10}$		
	36"D x 2 ³ /4"H. <u>COMPONENTS AND CONTROLS FOR UNIT SHOWER BASE/PAN (SB-I):</u>				¥ ∑
	"MOEN" MODEL #L2362NH SHOWER TRIM (LESS SHOWERHEAD) AND SHOWER VALVE WITH SCREWDRIVER STOPS. (SET HANDLE LIMIT STOP TO NOT EXCEED 115°F)	$\left \right\rangle$		(ZONE I)	
	"MOEN" MODEL #3863 ENVI HAND-HELD SHOWER (1.75 GPM) WITH VACUUM BREAKER AND 30" SLIDE BAR. ALSO FURNISH AND INSTALL A MOEN MODEL #A725 DROP ELL.				
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			$\frac{\Sigma}{\omega}$		0-12740
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