REQUEST FOR QUOTE



ANNEX RENOVATIONS 2133 Walker Solomon Way Columbia, SC

PROPOSAL DUE DATE:

Thursday, September 2, 2021 2:00 PM Local Time



COLUMBIA HOUSING REQUEST FOR QUOTE ANNEX RENOVATION

<u>GENERAL</u>

The Housing Authority of the City of Columbia, South Carolina (Columbia Housing or CH) hereby requests Quotes from General Contractors to renovate Columbia Housing Annex Office Building located 2133 Walker Solomon Way, Columbia, South Carolina.

Proposals will be accepted until <u>September 2, 2021 at 2:00 PM</u> Local Time.

Columbia Housing reserves the right to waive minor informalities and to reject any or all proposals. Columbia Housing will make selections and award a contract for Annex Renovations. Columbia Housing reserves the right to select the firm that Columbia Housing deems most qualified to perform the required services.

The RFQ Package may be downloaded from the website: <u>https://www.columbiahousingsc.org/procurement-postings</u>. Proposals shall be submitted in accordance with the provisions set forth in this request.

<u>PURPOSE</u>

The purpose of this solicitation is to contract with a General Contractor for Annex Renovations. Drawings with specifications were prepared by 1x1 Architecture and H2L Engineering.

PREBID VISIT

There will be a pre-bid visit on site August 26, 2021 at 2PM.

SUBMITTAL FORMAT

Proposals must be submitted electronically via e-mail to <u>adalenburg@columbiahousingsc.org</u> or a flash/jump drive delivered to the brown drop box at Columbia Housing, 1917 Harden Street, Columbia, SC 29204. Packages must be marked with "Annex Renovations" and addressed to Adam Dalenburg, Capital Asset Manager. **Hard copy submittals will not be accepted.**

Per Columbia Housing policies and procedures, HUD regulations, and Federal, State, and Local laws and codes, the following will be required with submission:

- Non-Collusive Affidavit
- Certification for a Drug Free Workplace (HUD 50070)
- Certificate of Section 3 Compliance
- MBE Participation Certification
- Piggyback Clause



The following will be required upon contract signing:

- Contract / Formal Agreement
- HUD Form 5370 EZ (Total contracts greater than \$2,000 not to exceed \$150,000)
- HUD 5370 (Total contracts exceeding \$150,000)
- Insurance Certificate(s)
- Business License
- W-9
- Direct Deposit Form

QUESTIONS

Written questions shall be submitted NLT 2PM August 27, 2021 via email to <u>adalenburg@columbiahousingsc.org</u>. Responses will be posted by August 31, 2021.

SCOPE OF WORK

The scope of work is based on the drawings and specifications. Included in the bid must be a time-line without actual dates. CH envisions this project to start in the month of soon after award.

CONTRACT AWARD

The contract will be awarded within 5 working days of submission. The NTP will be issued directly after the signed contract.

LIQUIDATED DAMAGES

A timeline will be discussed directly with the chosen contractor and liquid damages date will be set at that time with \$500/day after set completion date.



INSURANCE

The selected respondent shall provide a certification of insurance, which meets or exceeds the following limits and lists The Housing Authority of the City of Columbia as additional insured.

TYPE OF COVERAGE	LIMITS OF LIABILITY
Worker's Compensation – Statutory	Required over and above SC State requirements and regardless of the number of employees
Employer's Liability	\$25,000 One Accident & Aggregate Disease
COMPREHENSIVE GEN	NERAL LIABILITY:
Bodily Injury and	\$100,000 ea. person – Premise & Operations
Personal Injury	\$100,000 ea. person – Independent Contractors *\$100,000 ea. person – Products, including completed operations*
	\$100,000 ea. person – Contractual, to include Owner & Architect
	\$300,000 ea. Occurrence: \$300,000 ea. Aggregate: Products, including completed operations to include Owner & Architect
Property Damage	 \$ 50,000 ea. Occurrence: Premises & Operations \$ 50,000 ea. Occurrence: Independent Contractors \$ 50,000 ea. Occurrence: Products, including completed operations
	\$ 50,000 ea. Occurrence: Contractual, to include Owner & Architect
	\$100,000 Aggregate \$300,000 Aggregate: Operations; protective products; contractual, to include Owner & Architect
COMPREHENSIVE A (Includes owned, non-o	UTOMOBILE LIABILITY

(A)Bodily Injury	\$150,000 ea. person \$300,000 ea. Occurrence
(B) Property Damage	\$ 50,000 ea. Accident

* Shall be carried for a minimum of one (1) year after completion of the Agreement.

** Coverage shall include owned, non-owned, and hired automobiles



SECTION 3 REQUIREMENTS

TRAINING AND EMPLOYMENT OF SECTION 3 HIRES

Qualified Applicants

Through its Resident Services Programs, Columbia Housing will work with Service Partners that offer job readiness programs and training in day-to-day employment skills and apprenticeship programs to establish a pool of qualified applicants for referral to contractors procured by Columbia Housing.

The Resident Services Staff will identify and maintain a list of Section 3 Residents interested in employment and training opportunities. Columbia Housing will conduct preliminary screening of all applicants referred to contractors. This screening shall include a criminal background check and a drug screening, as applicable. Columbia Housing will match applicant skills to the available Section 3 positions and issue a formal referral to the corresponding contractor.

Applicants for available positions shall be referred in the order listed below.

1. Current or former residents of the property where the work is to be performed. Former residents are defined as individuals listed on a CH lease agreement at the time the property was vacated.

2. Current residents of other properties owned by Columbia Housing.

3. Participants of the Housing Choice Voucher Program administered by Columbia Housing.

4. Other qualified Section 3 residents of the City of Columbia.

5. Other qualified Section 3 residents of Richland County.

6. Other qualified Section 3 residents of Lexington County.

Contractor Requirements - Section 3 Employees

Contractors and subcontractors shall be required to submit a notice of intent to comply with the Section 3 regulations within all contracts. The notice is to be sent to Columbia Housing Resident Services Department. The notice is also to be posted in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference. The notice shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each and the

Columbia Housing

name and location of the persons receiving the referrals for each of the positions, and the anticipated date the work shall begin.

The contractor shall, to the greatest extent feasible, give preference to Section 3 Residents when hiring any full-time employee for permanent, temporary or seasonal employment under the contract. Contracts in excess of \$250,000 shall have an establishment number of Section 3 positions to be created under the contract. The contractor will be deemed to be in compliance with the training and employment requirements of the Section 3 Policy if 50% or the stated number in the applicable solicitation or contract, of new hires are Section 3 Residents from Columbia Housing communities or programs. The contractor is responsible for complying with the requirements of this policy in its own operations and for assuring compliance in the operations of its subcontractors.

Contract Preference for Section 3 Business Concerns

The contractor shall, to the greatest extent feasible, give preference to Section 3 Business Concerns when entering into any contract for the work of the Project. The Contractor will be deemed to be in compliance with the contract preference for Section 3 Business Concerns if it commits to award to Section 3 Business Concerns at least 30% of the total dollar amount of the Contract.

Certifications and Assurances

The form of contract executed by Contractors/Subcontractors will include the requirements set forth in this policy.

Marketing Efforts

Columbia Housing will market the Section 3 policies to Residents and Program Participants through posting of information on its website; posting of notices at CH offices and developments; and issuance of flyers describing employment and training opportunities.

CH will also provide notices at strategic locations within the community where people gather (i.e., schools recreational facilities, and area churches). CH will also inform community leaders, contractors, political leaders and interested community organizations of the Section 3 and MBE/WBE hiring commitments.

Reporting

The contractor shall submit to CH a completed Monthly Employee/Business Concern Utilization Report in a format determined by CH each month throughout the contract period. The contractor shall promptly provide to CH at its request, any such other

Columbia Housing

information or reports which CH may require and shall permit access to the job site and to any books, records, accounts and/or other material deemed by CH to be necessary to monitor the contractor's compliance with this Policy.

Termination

The contractor or any of its subcontractors may terminate the employment of a Section 3 Resident or the contract of a Section 3 Business Concern for good cause, provided that the contractor or subcontractor first notifies CH in writing of the proposed termination and the specific reasons for dismissal. If any Section 3 Resident employed by the contractor or a subcontractor pursuant to this Provision leaves or is terminated from such employment, or if any Section 3 Business Concern fails to perform under its contract or its contract is terminated, CH shall require the contractor and/or its subcontractor to employ another Section 3 Resident or contract with another Section 3 Business Concern in order to remain in compliance with the requirements of this Policy.

Department of Labor Requirements

Contractors subject to the Section 3 Resident Employment Provision are also required to comply with Executive Order 11246, as amended by Executive Order 12036 and the Department of Labor regulations issued pursuant thereto (41 CFR chapter 60), which provide that no person shall be discriminated against on the basis of race, color, religion, sex, or national origin in all phases of employment during the performance of Federal or Federally-assisted construction contracts.

Sanctions

If contractors or subcontractors do not comply with Section 3 mandates, CH will address the issues promptly. All sanctions against any contractor should be based on language in the signed contract.

Performance Standards

On each construction job site, it is expected from the contractor/subcontractors, that all referred and hired Section 3 Residents will be treated with the same respect and consideration that is demonstrated toward non-Section 3 Residents.

At no time should there be any disparity in hours worked per day, nor days worked per week, unless both contractor and employee agree upon it. Violation of these performance standards by the general contractor and its subcontractors will be interpreted as violation of contract agreement.

Payment in Lieu of Section 3 Hires

Columbia Housing

If a contractor is unable to meet the required Section 3 goals specified under their contract or in this policy, for any of the following reasons, Columbia Housing, at its sole discretion may approve a payment in lieu of Section 3 hires.

1. There are no new hires throughout the life of the contract.

2. The contract is of a highly technical nature and requires a high level of technical knowledge and/or skills for which there are no qualified Section 3 applicants.

3. CH Resident Services has been unable to provide referrals with the necessary skills for the available positions under the contract and the Contractor has made every effort to identify qualified Section 3 applicants.

The payment in lieu of Section 3 hires shall apply to all contracts in excess of \$10,000 and shall be 3% of the total contract amount. All funds received under the Payment in Lieu of Section 3 hires shall be directed restricted for the Resident Services Department and shall be utilized solely for job readiness and employment training for Columbia Housing residents or program participants.



BID FORM

I hereby acknowledge the latest Addendum: #______.

As well as the premises and conditions affecting the work, proposes to furnish all services, labor, materials and equipment called for by drawings and specifications for the entire work in accordance with said documents, for the following prices:

Total Bid: \$ _____

It is understood that, before a proposal is considered for award, Bidder may be requested by the Columbia Housing Authority to submit a statement of facts in detail as to his previous experience in performing similar or comparable work, and of his business and technical organization and financial resources and plant available to be used in performing contemplated work.

Respectfully submitted this ______ day of ______,

Authorized Signature



Bidder's Name:	
Address:	
State of South Carolina Contractors License No:	
Bidder's License No:	
By:	
Title:	

SEAL IF BIDDER IS A CORPORATION



NON-COLLUSIVE AFFIDAVIT

STATE OF SOUTH CAROLINA

COUNTY OF RICHLAND

_____, being first duly sworn, deposes

and says:

THAT HE/SHE IS <u>(a partner or officer</u> of the firm of, etc.) the party making the foregoing proposal or bid; that such proposal or bid is genuine and not collusive nor sham; that said bidder has not colluded, conspired, connived nor agreed, directly or indirectly, with any bidder or person, to put in a sham bid or to refrain from bidding; and has not in any manner, directly or indirectly, sought by agreement of collusion, or communication or convergence, with any person, to fix the bid price of affiant or of any other bidder; nor to fix any overhead, profit, or cost element of said bid price, nor of that of any other bidder; nor to secure any advantage against THE HOUSING AUTHORITY OF THE CITY OF COLUMBIA, SOUTH CAROLINA, or any person interested in the proposed contract; and that all statements in said proposal or bid are true.

Signatures of:

BIDDER, if the Bidder is an individual:

PARTNER, if the Bidder is a partnership:

OFFICER, if the Bidder is a corporation:

SUBSCRIBED AND SWORN TO BEFORE ME

This______day of_______, 20______

(Notary Public)

My Commission expires:______



Certification for a Drug-FreeWorkplace

Applicant Name

Program/Activity Receiving Federal Grant Funding

Acting on behalf of the above named Applicant as its Authorized Official, I make the following certifications and agreements to the Department of Housing and Urban Development (HUD) regarding the sites listed below:

I certify that the above named Applicant will or will continue to provide a drug-free workplace by:

a. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the Applicant's workplace and specifying the actions that will be taken against employees for violation of such prohibition.

b. Establishing an on-going drug-free awareness program to inform employees ---

(1) The dangers of drug abuse in the workplace;

(2) The Applicant's policy of maintaining a drug-free workplace;

(3) Any available drug counseling, rehabilitation, and employee assistance programs; and

(4) The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace.

c. Making it a requirement that each employee to be engaged in the performance of the grant be given a copy of the statement required by paragraph a.;

d. Notifying the employee in the statement required by paragraph a. that, as a condition of employment under the grant, the employee will --- (1) Abide by the terms of the statement; and

(2) Notify the employer in writing of his or her conviction for a violation of a criminal drug statute occurring in the workplace no later than five calendar days after such conviction;

e. Notifying the agency in writing, within ten calendar days after receiving notice under subparagraph d.(2) from an employee or otherwise receiving actual notice of such conviction. Employers of convicted employees must provide notice, including position title, to every grant officer or other designee on whose grant activity the convicted employee was working, unless the Federalagency has designated a central point for the receipt of such notices. Notice shall include the identification number(s) of each affected grant;

f. Taking one of the following actions, within 30 calendar days of receiving notice under subparagraph d.(2), with respect to any employee who is so convicted ---

(1) Taking appropriate personnel action against such an employee, up to and including termination, consistent with the requirements of the Rehabilitation Act of 1973, as amended; or

(2) Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health, law enforcement, or other appropriate agency;

g. Making a good faith effort to continue to maintain a drugfree workplace through implementation of paragraphs a. thru f.

2. Sites for Work Performance. The Applicant shall list (on separate pages) the site(s) for the performance of work done in connection with the HUD funding of the program/activity shown above: Place of Performance shall include the street address, city, county, State, and zip code. Identify each sheet with the Applicant name and address and the program/activity receiving grant funding.)

Check here		if there are workplaces on file that are not identified on the attached sheets.
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I hereby certify that all the information stated herein, as well as any information provided in the accompaniment herewith, is true and accurate. **Warning:** HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

Name of Authorized Official	Title		
Signature		Date	
<u>X</u>			
		form HUD-500	70 (3/98)

ref. Handbooks 7417.1, 7475.13, 7485.1 & .3

CERTIFICATE OF SECTION 3 COMPLIANCE

I certify that I have reviewed and fully understand the attached Section 3 Specification Clause and program and will demonstrate compliance to the "greatest extent feasible" to meet the numerical goal of 30% new hires. I further certify that I have and will make every reasonable effort to purchase from those small businesses located within the boundaries of the Section 3 covered project area and further, will take concrete steps to expand resident training and employment opportunities such as, asking if residents are aware of available training and employment positions, encouraging residents to participate in the job application process, and actually employing Section 3 area residents. Furthermore, I will contact the Housing Authority to obtain listings of available individuals to fill my labor needs, if any such needs arise, for the duration of this contract.

Principal Officer of Bidding Company

Date

END OF DOCUMENT

MBE PARTICIPATION CERTIFICATION

I certify that I have reviewed and fully understand the attached Columbia Housing Authority MBE requirements and will take the five affirmative steps listed and make a GOOD FAITH EFFORT to achieve the MBE participation goal.

Principal Officer of Bidding Company

Date

END OF DOCUMENT

PIGGYBACK CLAUSE FORM

Piggybacking is when an existing contract is used by another governmental agency to acquire the same commodities or services at the same or lower price from another public entity contract.

Columbia Housing shall permit Piggybacking on all contracts resulting from a formal solicitation including a Competitive Bid; a Request for Proposals and/or a Request for Qualifications under the following provisions.

For the term of the contract period resulting from this solicitation and any mutually agreed upon extensions pursuant to this request for goods and/or services, at the option of the vendor, other Public Housing Authorities, any public corporation or agency, including any town, city, county, or state agency, may purchase or contract for the same goods and/or services identified upon the same terms and conditions or such terms and conditions as may be negotiated with the vendor pursuant to the applicable joint, permissive and interstate cooperative procurement statutes of the location in which such public corporation or agency is located.

Acceptance or rejection of this clause will not affect the outcome of this solicitation.

_____ (Initial) Vendor hereby grants the Piggyback option for this solicitation.

(*Initial*) Vendor does not grant the Piggyback option for this solicitation.

Vendor:

Name of Authorized Representative:

Signature: _____ Date: _____

COLUMBIA HOUSING AUTHORITY COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION 2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204

DRAWING LIST						
SHEET NO.	Sheet Name					
ENERAL						
/R	COVER					
101	BUILDING CODE SUMMARY					
102	PARTITION TYPES					
RCHITECTURAL SITE						
001	ARCHITECTURAL SITE PLAN					
RCHITECTURAL DEMOLITION						
D101	DEMOLITION PLAN					
D102	DEMOLITION ATTIC PLAN					
D103	DEMOLITION ROOF PLAN					
D201	DEMOLITION RCP					
RCHITECTURAL						
101	FLOOR PLANS					
102	ATTIC PLAN					
103	ROOF PLAN					
201	REFLECTED CEILING PLAN					
301	ENLARGED FLOOR PLANS					
401	ELEVATIONS					
501	BUILDING SECTIONS					
502	BUILDING SECTIONS					
601	WALL SECTIONS					
801						
901						
902	MILLWORK					
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Εςμανιζαι						
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301	ELECTRICAL PANEL SCHEDULES					











DRAWING CONVENTIONS 1 View Name 1/8" = 1'-0" VIEW INDICATOR **REVISION CLOUD** IDENTITY SYMBOLS COLUMN GRID **BLOWUP DETAIL A101** REFERENCE SYMBOLS 1 A101 ELEVATION A101 INTERIOR ELEVATION 4 <(A101)> ; DIMENSION CONVENTIONS LINE SYMBOLS _____ CENTER LINE ----- HIDDEN ----- OVERHEAD ----- PROPERTY LINE - MATCH LINE _____ -HOUR RATING ABBREVIATIONS @ AT MECH MECHANICAL MFR MANUFACTURER AFF ABOVE FINISH FLOOR APC ACOUSTICAL PANEL CEILING MIN MINIMUM ARCH ARCHITECTURAL MP METAL PANEL BLDG BUILDING MTL METAL COPING CENTERLINE NOT IN CONTRACT CL NIC CLR CLEAR NOM NOMINAL CO CASED OPENING NTS NOT TO SCALE CONTROL JOINT CJ ON CENTER OC CPT OPP OPPOSITE CARPET CTR CENTER OPNG OPENING CONC CONCRETE PAINT Р CMU CONCRETE MASONRY UNIT DN DOWN PLASTIC LAMINATE PL DS DOWNSPOUT PORCELAIN TILE PT PTB PORCELAIN TILE BASE DWG DRAWING PTW PRESSURE TREATED WOOD EIFS EXTERIOR INSULATION AND FINISH PWDR POWDER ROOM SYSTEM EJ EXPANSION JOINT RB RUBBER BASE REQD REQUIRED EL ELEVATION ELEC ELECTRICAL RD ROOF DRAIN ELEV ELEVATOR EQUIP EQUIPMENT SEALED CONCRETE SC SQUARE FEET ES EDGE STRIP SF EWC ELECTRIC WATER COOLER SIM SIMILAR EXP EXPOSED SPEC SPECIFICATIONS EXT EXTERIOR SOLID SURFACES SS EXPT EXTERIOR PAINT STUCCO ST EXTG EXISTING STD STANDARD FCO FLOOR CLEANOUT STW STAIN WOOD FD FLOOR DRAIN STR STRUCTURAL FIRE EXTINGUISHER TOS TOP OF STEEL FE FEC FIRE EXTINGUISHER CABINET TYP TYPICAL GC GENERAL CONTRACTOR UNO UNLESS NOTED OTHERWISE GL EXTERIOR GLAZING VIF VERIFY IN FIELD VWC VINYL WALLCOVERING GR GROUT GT GLASS TILE W/ WITH GWB GYPSUM BOARD WCO WALL CLEANOUT WWF WELDED WIRE FABRIC HM HOLLOW METAL



XB X-BRACING

HVAC HEATING, VENTILATION, AIR-

CONDITIONING

LVT LUXURY VINYL TILE

INSUL INSULATION

MAX MAXIMUM

BUILDING CODE	SUMMARY													
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PROPOSED USE: OWNER OR AUTH., AGENT:	(B) BUSINESS, (OFFICE)					WEST	10 ≤ X ≤ 30	0 HOURS	0 HO	URS (XTR)				
CONTACT INFO:	803-254-3886; ADALENBU	RG@COLUMBIAHOUSIN	NGSC.ORG				> 30	0 HOURS	0 HO	URS (XTR)				
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ARCHITECTURAL:	1X1 DESIGN, INC.	ASHELEY SCOTT	ST. JOHN 7	7937	(803) 834-4048	SOUTH	NA	NA	NA					
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	ALLOWAB		CY A ALLO	WABLE AREA OF	OCCUPANCY B	EXIT REOLUREMENTS								
						NUMBER AND ARRANGEMENT OF EX	XITS							
BUILDING DESCRIPTION & USE	(a) (b) (A _t) TABLE 506.2 (NS	(c) 5) TABLE 506.2 (If) S	(d) SECTION 506.3 (Sa) E	e BUILDING (A) (f) a) MAXIMUM ACTUAL	FLOOR, ROOM OR SPACE		BER OF EXITS	2	TRAVEL DIST	ANCE		ARRANGEMENTS N (SECTION 1007.1.1)	IEANS OF EGRESS
	AREA NO NS BU	ILDING AREA FOR	TOR INCREASE STO	RIES BI	JILDING AREA BUILDING AREA R UNLIMITED	-	REQ'D	SHOWN	ON	ALLOWABLE	ACTUAL	_ TRAVEL	REQUIRED	ACTUAL
V-B, (B) BUSINESS, ONE STORY, UN/SPRINKLERED	9,000 9,0	00 0.75	1	1	5,750 9,042			PLANS		TRAVEL DISTANCE	DISTAN SHOWN	CE I ON	DISTANCE BETWEEN EXIT	DISTANCE SHOWN ON PLANS
		I _f =[F	- / P - 0.25]W/30	A	= $[A_{+} + (NS \times I_{f})] \times S_{a}$	FIRST FLOOR	2	4		200' - 0"	92' - 3"		68' - 1/8"	77' - 4"
Building perimeter fronting pub	blic way or open space having	20ft min width: F =	402'-8"	A	= [9,000 + (9,000 x 0.75)] x 1									
	Total bui	ilding perimeter: $P = \frac{1}{2}$	402'-8"	Ą	= [15,750] x 1									
		$\int u = \int u du = \int u $	<u>-0 -0</u> 102'-8"//02'-8" - 0 25	A	= 15,750	¹ Corridor dead ends (section 1020.4)								
		ι _f = 0.	.75	,150,30		 ² Single exits (from spaces - table 100 ³ Common path of travel (table 1006. 	6.2.1; from story - .2.1)	tables 1006.	3.1 and 1006	.3.2(2))				
						EXIT WIDTH								
						USE GROUP OR SPACE	OCCUPANT	EGRESS	WIDTH	REQUIRED W	'IDTH		ACTUAL EXIT WIDT	H SHOWN ON
						DESIGNATION	LOAD BASED ON 1004.5	PER OCC (SECTION	UPANT N 1005)				PLANS	
							86	03/03		STAIRS	OTHER	ELEMENTS	STAIRS NA	OTHER ELEMENTS
ALLOWABLE HEIGHT								0.2 / 0.2			17.2			
-	ALLOWABLE (TABLE 504.3	, 504.4, 506.2)	SHOWN ON PLAN	IS	CODE REFERENCE									
TYPE OF CONSTRUCTION	TYPE: V-B (EXISTING)		TYPE: V-B EXISTIN	IG							I			1
BUILDING HEIGHT (FT) BUILDING HEIGHT (STORIES)	+/- 23 FEET (EXISTING)		+/- 23 FEET (EXIST	ING)		PLUMBING FIXTURE REQUI	REMENTS (TA	ABLE 2902	<u>2.1)</u>					
	· ··					NOTE: FIXTURE COUNTS BASED UPO	N DESIGN OCCUP	ANT LOAD						
DESIGN OCCUPANT LOAI	D (TABLE 1004.1.2)						WATER CLOSETS		URINALS	LAVATO	DRIES	SHOV /TUBS	VERS DRINKIN	G FOUNTAINS
FUNCTION OF SPACE	FLOOR AREA IN SQ FT PER	OCCUPANT AREA (SF)	PER PLANS		OTAL OCCUPANTS PER FUNCTION OCC)		MALE: F	EMALE:		MALE:	FEMALE	:	REGULA	R: ANSI/ADA:
	300 SF	729 SF			.4	REQUIRED: (42 M, 42 F) (B) BUSINESS	2.68 2	68		2.05	2.05		0.84	1
BUSINESS AREAS	150 NET	3461 S	5F		3.1									
NON-OCCUPIED	N/A					(B) BUSINESS	3 3	1		3	3		1	1

TOTAL

--

IERGENCY LIGHTING:	YES	NOTE: PER 2018 INTERNATIONAL FIRE CODE SECTION 509.1, ROOMS CONTAIN
(IT SIGNS:	YES	CONTROLS FOR AIR CONDITIONING SYSTEMS, SPRINKLER RISERS, AND VALVES
RE ALARM:	NO	FOR THE USE OF THE FIRE DEPARTMENT. APPROVED SIGNS REQUIRED TO IDEN
OKE DETECTION SYSTEMS:	NO	FIRE PROTECTION EQUIPMENT AND EQUIPMENT LOCATION SHALL BE CONSTR
NIC HARDWARE	NO	

SAFETY	PLAN	SHEET	#:

INCLUDED	N/A FOR PROJE	ст
	\square	FIRE AND/OR SMOKE RATED WALL LOCATIONS (CHAPTER 7)
\square		ASSUMED AND REAL PROPERTY LINES LOCATIONS
	\bowtie	EXTERIOR WALL OPENING AREA WITH RESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8)
	\bowtie	EXISTING STRUCTURES WITHIN 30' OF PROPOSED BUILDING
\square		OCCUPANCY TYPES FOR AREA AS IT RELATES TO OCCUPANT LOAD CALCULATIONS (TABLE 1004.3)
\square		OCCUPANT LOADS FOR EACH AREA
\square		EXIT ACCESS TRAVEL DISTANCES (1017)
\sum		COMMON PATH OF TRAVEL DISTANCES (1006.2.1 & 1029.8)
	\bowtie	DEAD END LENGTHS (1020.4)
\sum		CLEAR EXIT WIDTH FOR EACH EXIT DOOR
\sum		MAXIMUM OCCUPANT LOAD CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON EGRESS WIDTH (1005.1)
\sum		ACTUAL OCCUPANT LOAD FOR EACH EXIT DOOR
	\square	SEPARATE SCHEMATIC PLAN INDICATING WHERE FIRE RATED FLOOR/CEILING AND/OR ROOF STRUCTURE IS PROVIDED FOR PURPOSES OF OCCUPANCY SEPARATION
	\square	LOCATION OF DOORS WITH PANIC HARDWARE (1010.1.1)
	\bowtie	LOCATION OF DOORS WITH DELAYED EGRESS LOCKS AND AMOUNT OF DELAY (1010.1.1)
	\bowtie	LOCATION OF DOORS WITH ELECTROMAGNETIC EGRESS LOCKS (1010.1.9.7)
	\bowtie	LOCATION OF DOORS EQUIPPED WITH HOLD-OPEN DEVICES
	\bowtie	LOCATION OF EMERGENCY ESCAPE WINDOWS (1030)
	\bowtie	THE SQUARE FOOTAGE OF EACH FIRE AREA (901.7, 903)
	\bowtie	THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT (407.5)
\square		NOTE ANY CODE EXCEPTIONS OR TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ABOVE:
		CORRIDORS ARE NOT REQUIRED TO BE RATED PER TABLE 1020.1 (BUSINESS OCCUPANCY, WITHOUT SPRINKLER

			MAVEL DISTANCE		(SECTION 1007.1.1) ^{1,3}		
	REQ'D	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1017.2)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS	
RST FLOOR	2	4	200' - 0"	92' - 3"	68' - 1/8"	77' - 4"	

5058 SF

83.4 = 84 OCC (42 M, 42 F)

JSE GROUP OR SPACE DESIGNATION	OCCUPANT LOAD BASED ON 1004.5	EGRESS WIDTH PER OCCUPANT (SECTION 1005)	REQUIRED WIDTH		ACTUAL EXIT WIDTH SHOWN ON PLANS	
			STAIRS	OTHER ELEMENTS	STAIRS	OTHER ELEMENTS
IRST FLOOR	86	0.3 / 0.2	NA	17.2"	NA	192"

	WATER CLOSETS		URINALS	LAVATORIES		SHOWERS /TUBS	DRINKING FOUNTAINS	
	MALE:	FEMALE:		MALE:	FEMALE:		REGULAR:	ANSI/ADA:
REQUIRED: (42 M, 42 F)								
(B) BUSINESS	2.68	2.68		2.05	2.05		0.84	1
ROVIDED: (42 M, 42 F)								
(B) BUSINESS	3	3		3	3		1	1

REQD EXIT SEPARATION: 136'-3"/ 2= 68'- 1/8" _____

EXTG DOOR (TO REMAIN) ACESSIBLE EXIT WIDTH: 32" MAX OCC LOAD: 160 ACTUAL OCC LOAD: 20 —

ACESSIBLE EXIT WIDTH: 64" MAX OCC LOAD:160 ACTUAL OCC LOAD: 20 -

EXTG DOOR (TO REMAIN) ACESSIBLE EXIT WIDTH: 32" MAX OCC LOAD: 160 ACTUAL OCC LOAD: 20 -

REQD EXIT DOOR (XTR) ACCESSIBLE EXIT WIDTH: 64"-MAX OCC LOAD: 160

REQD EXIT DOOR (XTR) EXIT WIDTH: 30" MAX OCC LOAD: 150 ACTUAL OCC LOAD: 1

FEC	FIRE EXTI
$\mathbf{\Theta}$	EXIT SIGN
Ρ	DENOTES

	STORAGE ARE
	ASSEMBLY - UI
	BUSINESS ARE
	NON- OCCUPIE
1-	DCCUPANT LC 3/32" = 1'-0"



TINGUISHER CABINET

GNS, SEE ELECTRICAL ES EXIT DOOR TO RECEIVE PANIC HARDWARE

OCCUPANT LOAD KEY

REAS

UNCONCENTRATED

REAS

JPIED AREAS

LOAD AND LIFE SAFETY PLAN

- ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM AREAS (300 SF/PERSON): **2.4 OCC** (729/300)
- ASSEMBLY- UNCONCENTRATED (15 SF/PERSON): 57.9 OCC (868/15)
- BUSINESS AREAS (150 SF/PERSON): **23.1 OCC** (3461/150)
- FLOOR TOTAL: **84 OCC** (83.4)





SEE A200 SERIES FOR CEILING HEIGHT CEILING AS SHOWN ON REFLECTED CEILING PLANS WHERE OCCURS		
ACOUSTICAL BATT INSULATION BASE - SEE FINISH SCHEDULE FINISH FLOOR MATERIAL - SEE FINISH SCHEDULE		
4 1/4"	3 PARTITION SCALE: 1 1/2" = 1'-0"	



GENERAL PARTITION NOTES

BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS, AND/OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS, SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SUCH IDENTIFICATION SHALL BE: A. LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR

PARTITION B. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8 INCH STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" OR OTHER WORDING.

PARTITION SCALE: 1 1/2" = 1'-0"

PER 2018 IBC WITH SC MODIFICATIONS, SECTION 703.7, ALL FIRE WALLS, FIRE







GENERAL SITE NOTES

SITE ELEMENTS SHOWN AS REFERENCE ONLY. CIVIL ENGINEERING BY OTHERS. FIELD VERIFY EXISTING EXTERIOR AND SITE CONDITIONS PRIOR TO CONSTRUCTION. LANDSCAPE DESIGN BY OTHERS. ALL SIDEWALKS MUST PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. 4. SITE PLAN INFORMATION AND ASSUMED PROPERTY LINES BASED ON EXTG DRAWINGS PROVIDED BY OWNER. SEE <u>P2.01</u> FOR REFERENCE UTILITY PLAN. 5.

BASIS OF DEIGN- IN GROUND WASTE CONTAINER MFR: TYPE:

SUTERA FULLY IN-GROUND UNIT FS-4

BASIS OF DEIGN- MECHANICAL SCREEN ENCLOSURE

CITYSCAPES MFR: PRODUCT: COVRIT PANEL STYLE: SLAT WALL MATERIAL: TYPE:

PANEL COLOR: POST COLOR: POST CAP: POST MOUNTING: PANEL HEIGHT:

GATE:

PRODUCT:

MATERIAL:

METAL PERIMETER WALL FROM MFRS STANDARD COLOR OPTIONS FROM MFRS STANDARD COLOR OPTIONS FITTED HIP HILTI ON EXTG SLAB 7 FEET



PRECAST CONCRETE CONTAINMENT WELL WITH STEEL LID

ONE 3' GATE PER ENCLOSURE WITH LOCKING HARDWARE



C \frown

LL



	EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY OWNER PROVIDED EXISTING PLANS, AND INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE
<u>.</u>	SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS.
8. I.	GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION. DO NOT REMOVE MORE EXTERIOR WALL OR ROOF MATERIAL THAN WHAT CAN BE COVERED IN ONE DAY, OR PROVIDE TEMPORARY ENCLOSURE TO ENSURE BUILDING
ELECT	REMAINS WATER & WEATHER-TIGHT.
	DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS. PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL, OR AS REQUIRED BY THE TIME FRAME OF THE PROJECT.
). I.	CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID MARRING EXISTING FINISHED SURFACES. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE
j.	MATERIALS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME- CUTTING OPERATIONS. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES. REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR
,	UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE. NOTIFY ARCHITECT IMMEDIATELY OF DAMAGED OR DANGEROUS CONDITIONS. LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR FRAMING.
l.	DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL OR OTHER
).	MATERIALS TO ACCUMULATE ON-SITE. REMOVE EXISTING INTERIOR WINDOW BLINDS AND DISPOSE.
JTILITY	SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS
- :.	EXISTING SERVICES/SYSTEMS: MAINTAIN EXISTING SERVICES AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVICING AREAS TO BE SELECTIVELY DEMOLISHED.
LECTR	ICAL DEMOLITION NOTES COORDINATE DEMOLITION WORK WITH FACILITY OPERATIONS AND ALL OTHER TRADES. IDENTIFY SALVAGE ITEMS IN COOPERATION WITH OWNER.
	AND LIGHTS, BARRICADES, AND SIMILAR MEASURES, FOR PROTECTION OF THE OWNER, CONTRACTOR'S EMPLOYEES, AND EXISTING IMPROVEMENTS TO REMAIN. PROVIDE TEMPORARY ELECTRICAL POWER AND EMERGENCY LIGHTING AS
	REQUIRED. ENSURE ALL CIRCUITS AND EQUIPMENT TO BE DEMOLISHED ARE SAFELY DE- ENERGIZED PRIOR TO STARTING WORK. DISCONNECT ELECTRICAL SYSTEMS IN WALLS, FLOORS, AND CEILINGS SCHEDULES FOR REMOVAL. REMOVE EXPOSED WIRING AND CONDUIT IN CIRCUITS DESIGNATED TO BE ABANDONED. CUT CONCEALED CONDUIT FLUSH WITH WALLS AND FLOORS. PLUG CONDUITS AND
	PATCH SURFACES. REMOVE ALL DISCARDED MATERIALS PER THESE SPECIFICATIONS AND OWNERS'S INSTRUCTION. RELOCATE, AND EXTEND EXISTING INSTALLATIONS TO
	ACCOMMODATE NEW CONSTRUCTION. KEEP ELECTRICAL POWER AND LIGHTING PANELS AS SPECIFIED ON THESE DRAWINGS. RING OUT CIRCUITS IN EXISTING PANELS WHERE ADDITIONAL CIRCUITS ARE NEEDED. REUSE AVAILABLE CIRCUITS, INSTALL NEW CIRCUIT BREAKERS AS REQUIRED - SEE ELECTRICAL DRAWINGS. CLEAN AND REPAIR EXISTING FOUR
	TO REMAIN, BE SALVAGED, OR TO BE REINSTALLED. TESTING: TEST ALL MAIN SERVICE AND PANELBOARD FEEDER WIRING TO REMAIN IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. REMOVE ANY AND ALL EXISTING WIRE NO LONGER IN USE.
i.	PERFORM VISUAL AND MECHANICAL TEST OF CIRCUIT BREAKERS PER REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. CIRCUIT BREAKERS EXHIBITING ANY UNUSUAL CHARACTERISTIC SHALL BE SUBJECTED TO ELECTRICAL TESTS PER THE SAME REQUIREMENTS. REPLACE DEFECTIVE CIRCUIT BREAKERS WITH NEW OF SAME KIND, OR PER THE REQUIREMENTS OF THE ELECTRICAL ENGINEER,
).	WHICHEVER IS MORE STRINGENT. SALVAGE: REMOVE AND PROTECT ITEMS INDICATED ON DRAWINGS TO BE SALVAGED AND TURN OVER TO OWNER. ITEMS OF SALVAGEABLE VALUE MAY BE REMOVED AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM SITE AS THEY ARE REMOVED. TO OWNER SPECIFIED LOCATION.
ONCR	ETE
	DEMOLISH IN SECTIONS. CUT CONCRETE FULL DEPTH AT JUNCTURE WITH CONSTRUCTION TO REMAIN AND AT REGULAR INTERVALS, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS. AT SLAB ON GRADE, SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED, THEN BREAK UP AND REMOVE.
/IASON	IRY DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.
LOOR	COVERINGS REMOVE FLOOR COVERINGS AND ADHESIVE ACCORDING TO RECOMMENDATIONS BY THE MANUFACTURER AND IN A MANNER IN WHICH PREPARES SURFACE FOR INSTALLATION OF NEW MATERIAL, PER THE MANUFACTURER'S RECOMMENDATIONS OF THE NEW MATERIAL.
LEANI	NG CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN AND SUITABLE FOR OWNER OCCUPATION.
EMPO	RARY SHORING PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN AND TO PREVENT
	UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

DEMOLITION LEGEND NOTE: SEE DEMOLITION TAGS AND NOTES FOR MORE DETAILS. — — — — EXISTING ELEMENT TO BE REMOVED EXISTING WALL TO

REMAIN

_ _ _ _ _ _



DEMOLITION KEY NOTE LEGEND FLOOR PLAN:

REMOVE AND DISPOSE OF ALL INTERIOR FINISHES AND DEBRIS, THIS ROOM. CLEAN AREA TO RECIEVE NEW CONSTRUCTION AND FINISHES (D2) ALL REMAINING FREE STANDING FURNITURE IN SPACE TO BE REMOVED AND DISPOSED BY GC. GC TO COORIDNATE WITH OWNER ON REMOVAL OF ALL ITEMS PRIOR TO DISPOSAL (D3) REMOVE AND DISPOSE OF ALL EXTG CASEWORK AND SHELVING

- (D4) REMOVE AND DISPOSE OF EXTG WINDOW AND FRAME
- REMOVE AND DISPOSE OF EXTG WOOD PANELING AT THIS WALL LOCATION. SEE
- D5 REMOVE AND DISPOSE OF EXTG WOOD PANELIN PHOTOS THIS SHEET FOR TYPICAL CONDITION
- (D7) EXTG MECHANICAL SCREEN TO BE REMOVED IN ITS ENTIRETY
- (D8) EXTG PLUMBING FIXTURES TO BE REMOVED IN THIS AREA
- D9 AREA OF ANTICIPATED TRENCHING AT CONCRETE SLAB. COORDINATE WITH PLUMBING
- D10 EXTG ELECTRICAL PANEL TO BE REMOVED AND DISPOSED, SEE ELECTRICAL
- D11 EXTG FIRE ALARM PANEL TO BE REMOVED AND DISPOSED OF, SEE ELECTRICAL
- ATTIC PLAN:
- (D13) EXTG MECHANICAL EQUIPMENT TO BE MODIFIED. SEE MECHANICAL
- (D14) EXTG LOUVER TO BE REMOVED AND DISPOSED, SEE MECHANICAL
- (P15) EXTG LOUVER TO REMAIN, SEE MECHANICAL
- D16 NEW WALL OPENING FOR NEW MECHANICAL LOUVER, SEE MECHANICAL

<u>ROOF PLAN:</u>

REMOVE AND DISPOSE EXTG MECHANICAL EQUIPMENT AND REPAIR P17 ROOF AT EXTG PENETRATIONS. GC TO COORDINATE SCOPE OF WORK AND ENSURE WORK DOES NOT VOID EXTG ROOF WARRANTY **REFLECTED CEILING PLAN:**

- D18 REMOVE AND DISPOSE EXTG MECHANICAL AND ELECTRICAL EQUIPMENT, SEE MECHANICAL AND ELECTRICAL
- D19 REMOVE AND DISPOSE EXTG CEILING TILES AND GRID

05/04/2021

SHEET NAME

DATE

RE

DEMOLITION PLAN

1 ATTIC DEMOLITION PLAN 3/16" = 1'-0"





LOOK	FLAN.

	REMOVE AND DISPOSE OF ALL INTERIOR FINISHES AND DEBRIS, THIS ROOM. CLEAN AREA TO RECIEVE NEW CONSTRUCTION AND FINISHES
D2	ALL REMAINING FREE STANDING FURNITURE IN SPACE TO BE REMOVE DISPOSED BY GC. GC TO COORIDNATE WITH OWNER ON REMOVAL O PRIOR TO DISPOSAL
D3	REMOVE AND DISPOSE OF ALL EXTG CASEWORK AND SHELVING
D 4	REMOVE AND DISPOSE OF EXTG WINDOW AND FRAME
D 5	REMOVE AND DISPOSE OF EXTG WOOD PANELING AT THIS WALL LOC PHOTOS THIS SHEET FOR TYPICAL CONDITION
D6	EXTG ATTIC ACCESS THROUGH CEILING TILE TO BE REMOVED AND DIS
D7	EXTG MECHANICAL SCREEN TO BE REMOVED IN ITS ENTIRETY
D8	EXTG PLUMBING FIXTURES TO BE REMOVED IN THIS AREA
D9	AREA OF ANTICIPATED TRENCHING AT CONCRETE SLAB. COORDINATI WITH PLUMBING
D10	EXTG ELECTRICAL PANEL TO BE REMOVED AND DISPOSED, SEE ELECTR
D11	EXTG FIRE ALARM PANEL TO BE REMOVED AND DISPOSED OF, SEE ELI
D12	REMOVE AND DISPOSE OF EXTG KICTHEN EQUIPMENT AND SUPRESSIO
ATTIC	PLAN:
D13	EXTG MECHANICAL EQUIPMENT TO BE MODIFIED. SEE MECHANICAL
D14	EXTG LOUVER TO BE REMOVED AND DISPOSED, SEE MECHANICAL
D15	EXTG LOUVER TO REMAIN, SEE MECHANICAL
D16	NEW WALL OPENING FOR NEW MECHANICAL LOUVER, SEE MECHANI
ROOF	PLAN:
D17	REMOVE AND DISPOSE EXTG MECHANICAL EQUIPMENT AND REPAIR ROOF AT EXTG PENETRATIONS. GC TO COORDINATE SCOPE OF WORK AND ENSURE WORK <u>DOES NOT</u> VOID EXTG ROOF WARRANTY
<u>REFLEC</u>	TED CEILING PLAN:

- D18 REMOVE AND DISPOSE EXTG MECHANICAL AND ELECTRICAL EQUIPMENT, SEE MECHANICAL AND ELECTRICAL
- D19 REMOVE AND DISPOSE EXTG CEILING TILES AND GRID

PROJECT TRUE

D15



05/04/2021

RE



NOT	ES FOR MORE DETAILS.
	TO BE REMOVED EXISTING WALL TO
	REMAIN EX
	EXISTING WALL TO EE REMOVED EE REMOVED
	REAS OF PARTIAL DEMOLITION, COORDINATE WITH RENOVATION SC
	PLAN:
	REMOVE AND DISPOSE OF ALL INTERIOR FINISHES AND DEBRIS, THIS ROOM, CLEAN AREA TO RECIEVE NEW CONSTRUCTION AND FINISH
<u>)</u> 2	ALL REMAINING FREE STANDING FURNITURE IN SPACE TO BE REMOV DISPOSED BY GC. GC TO COORIDNATE WITH OWNER ON REMOVAL PRIOR TO DISPOSAL
3]	REMOVE AND DISPOSE OF ALL EXTG CASEWORK AND SHELVING
₽/ _>	REMOVE AND DISPOSE OF EXIG WINDOW AND FRAME REMOVE AND DISPOSE OF EXIG WOOD PANELING AT THIS WALL LC
<u>></u>	PHOTOS THIS SHEET FOR TYPICAL CONDITION
6	EXTG ATTIC ACCESS THROUGH CEILING TILE TO BE REMOVED AND D
7)	EXTG MECHANICAL SCREEN TO BE REMOVED IN ITS ENTIRETY
)8 <u>)</u>	EXTG PLUMBING FIXTURES TO BE REMOVED IN THIS AREA
)9) ^	AREA OF ANTICIPATED TRENCHING AT CONCRETE SLAB. COORDINA WITH PLUMBING
010) ~	EXTG ELECTRICAL PANEL TO BE REMOVED AND DISPOSED, SEE ELEC
)11) (EXTG FIRE ALARM PANEL TO BE REMOVED AND DISPOSED OF, SEE E
<u>12</u> TTIC	REINIOVE AND DISPOSE OF EXTG KICTHEN EQUIPMENT AND SUPRESS
13	EXTG MECHANICAL EQUIPMENT TO BE MODIFIED. SEE MECHANICAL
14	EXTG LOUVER TO BE REMOVED AND DISPOSED, SEE MECHANICAL
)15 ^	EXTG LOUVER TO REMAIN, SEE MECHANICAL
16	NEW WALL OPENING FOR NEW MECHANICAL LOUVER, SEE MECHAN
<u>) OF </u>	PLAN: REMOVE AND DISPOSE EXTG MECHANICAL EQUIPMENT AND REPAIF
017	ROOF AT EXTG PENETRATIONS. GC TO COORDINATE SCOPE OF WOR AND ENSURE WORK <u>DOES NOT</u> VOID EXTG ROOF WARRANTY
<u>EFLEC</u>	TED CEILING PLAN:
18	KEMOVE AND DISPOSE EXTG MECHANICAL AND ELECTRICAL EQUIPMENT, SEE MECHANICAL AND ELECTRICAL
219	REMOVE AND DISPOSE EXTG CEILING TILES AND GRID
19	REMOVE AND DISPOSE EXTG CEILING TILES AND GRID



05/04/2021

REL





L_____

EXTG CONDITONS

1 REFLECTED CEILING PLAN - DEMOLITION 3/16" = 1'-0"



OVE AND DISPOSE OF EXTG MENT, SEE ELECTRICAL —		2 AD201 Sim		—— DEMOLISH, REMOVE AND DIS EXTG SOFFIT. SEE DETAIL #2 T	SPOSE OF THIS SHEET		
		EXTG COVERED PATIO					
D19 D18		EXTG STORAGE 			SINURSE STATIO		
		EXTG					
		++ EXTG MULTI-+ + + ++ ++ ++					
		RECEPTION P18 P19 P18 P19 P18 P19 P18 P19 P19 P19 P19 P19 P19 P18 P19 P18 P19 P18 P19 P19 P19 P19 P19 P19 P19 P19 P10 P110 P110					D18 D19 -
			$\begin{array}{c} & & & \\ & & & \\ & & & \\ & & \\ & & \\ & & \\ & & \\$				- +
$ \begin{array}{c} + & - & + \\ + & - & + \\ + & - & + \\ + & - & + \\ + & - & + \\ + & - & + \\ + & - & + \\ + & - & + \\ \hline \begin{array}{c} + & - & + \\ + & - & + \\ \hline \end{array} $				EXTG HALLWAY		+ +	
						NFERENCE	
)	•					

SEE PHOTOS #1-3, THIS SHEET, FOR

EXTG CONDITIONS



30.31.1 10003





FLOOR PLANS



GENERAL ATTIC PLAN NOTES

1. REFER TO ENGINEERING DRAWINGS FOR EQUIPMENT

RENOVATION KEY NOTE LEGEND FLOOR PLAN:

- R1 PROVIDE NEW 5/8" GYPSUM BOARD LAYER AT LOCATION(S) OF REMOVED EXTG WOOD PANELING, THIS WALL.
- R2 CASEWORK AND SHELVING PROVIDED BY OWNER. CASEWORK BLOCKING TO BE PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE ONLY. GC TO COORDINATE FINAL BLOCKING LOCATIONS WITH OWNER.
- R3 PROVIDE NEW MECHANICAL SCREEN, SEE SHEET A001 FOR BASIS OF DESIGN PRODUCT
- R4 PROVIDE NEW CONCRETE SLAB INFILL, THIS HATCH AREA; SEE STRUCTURAL AND PLUMBING

ATTIC PLAN:

- R5 EXTG MECHANICAL EQUIPMENT TO BE REMAIN. COORDINATE LOCATION OF DUCTWORK WITH MECHANICAL. SEE MECHANICAL
- R6 PROVIDE NEW ATTIC ACCESS WITH ACCESS LADDER; GC TO COORDINATE PLACEMENT AND ORIENTATION WITH ARCHITECT ONCE PRODUCT HAS BEEN SELECTED. SEE STRUCTURAL FOR EXISTING FRAMING MODIFICATIONS
- <u>BASIS-OF-DESIGN:</u> MFR: FIXFAST OR APPROVED EQUAL PRODUCT: KATTCLIMB FOLD DOWN LADDER OR APPROVED EQUAL TYPE: RL62 COMMERCIAL FOLD DOWN LADDER OR APPROVED EQUAL
- R7 PATCH EXTERIOR WALL AT FORMER LOUVER LOCATION WITH LIKE CONSTRUCTION. EXTERIOR FINISH TO BE EIFS 1, SEE <u>A401</u> SEE MECHANICAL
- (R8) EXTG MECHAMICAL LOUVER TO REMAIN, SEE MECHANICAL
- (R9) INSTALL NEW MECHANICAL LOUVER, SEE MECHANICAL

<u>ROOF PLAN:</u>

REPAIR EXTG ROOF PENETRATIONS. GC TO COORDINATE SCOPE OF WORK DOES NOT VOID EXTG ROOF WARRANTY

REFLECTED CEILING PLAN:

R11 PROVIDE BULK HEAD ASSEMBLY AT 6" BELOW CEILING AND EXTEND TO 6" ABOVE CEILING. BULKHEAD ASSEMBLY TO INCLUDE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE OF 3 5/8" METAL STUD. VERTICAL FACES PAINTED TO MATCH WALL COLOR. HORIZONTAL FACES TO BE PAINTED FLAT CEILING WHITE.

- ROOF SLOPE IS 1/4" PER FOOT, UNLESS INDICATED OTHERWISE. <OR> ROOF SLOPE IS <u>X:12</u> UNLESS NOTED OTHERWISE. 1. REFER TO ENGINEERING DRAWINGS FOR PENETRATIONS AND EQUIPMENT. 2. ALL GUTTER AND DOWNSPOUT SIZING BY GUTTER AND DOWNSPOUT PROVIDER. 3.
- GUARDS SHALL BE PROVIDED AS REQUIRED BY IMC 2015 SECTION 304.11. 4. ACCESS TO ROOFS TO BE PROVIDED PER IMC 2015 SECTION 306.5. 5.

RENOVATION KEY NOTE LEGEND

FLOOR PLAN:

- R1) PROVIDE NEW 5/8" GYPSUM BOARD LAYER AT LOCATION(S) OF REMOVED EXTG
- WOOD PANELING, THIS WALL. (R2) CASEWORK AND SHELVING PROVIDED BY OWNER. CASEWORK BLOCKING TO BE PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE ONLY. GC TO COORDINATE FINAL BLOCKING LOCATIONS WITH OWNER.
- R3 PROVIDE NEW MECHANICAL SCREEN, SEE SHEET A001 FOR BASIS OF DESIGN PRODUCT
- R4 PROVIDE NEW CONCRETE SLAB INFILL, THIS HATCH AREA; SEE STRUCTURAL AND PLUMBING

ATTIC PLAN:

- R5 EXTG MECHANICAL EQUIPMENT TO BE REMAIN. COORDINATE LOCATION OF DUCTWORK WITH MECHANICAL. SEE MECHANICAL
- R6 PROVIDE NEW ATTIC ACCESS WITH ACCESS LADDER; GC TO COORDINATE PLACEMENT AND ORIENTATION WITH ARCHITECT ONCE PRODUCT HAS BEEN PLACEMENT AND ORIENTATION WITH ARCHITECT ONCE PRODUCT HAS BEEN SELECTED. SEE STRUCTURAL FOR EXISTING FRAMING MODIFICATIONS

BASIS-OF-DESIGN: MFR: FIXFAST OR APPROVED EQUAL PRODUCT: KATTCLIMB FOLD DOWN LADDER OR APPROVED EQUAL TYPE: RL62 COMMERCIAL FOLD DOWN LADDER OR APPROVED EQUAL

- R7 PATCH EXTERIOR WALL AT FORMER LOUVER LOCATION WITH LIKE CONSTRUCTION. EXTERIOR FINISH TO BE EIFS 1, SEE <u>A401</u> SEE MECHANICAL
- (R8) EXTG MECHAMICAL LOUVER TO REMAIN, SEE MECHANICAL
- (R9) INSTALL NEW MECHANICAL LOUVER, SEE MECHANICAL

ROOF PLAN:

REPAIR EXTG ROOF PENETRATIONS. GC TO COORDINATE SCOPE OF WORK DOES NOT VOID EXTG ROOF WARRANTY

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2

EXTG CEILING TO F

NEW LIGHTING TO BE INTSTALLED, SEE ELECTRICAL	INST DET	FALL NEW EXTERIOR GWB CEILING, SEE FAIL #4 SHEET <u>501</u>	
	0 0 0 9' - 0" 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0		
		STORAGE/ IT 1B8 R6 CIRCULAT 129 CIRCULAT	TON TON RR 137
Image: store STOR 107C 1111 11		CONFERENCE ROOM 136 136 136 136 136 136 136 136	
REMAIN	2 A501	3 (A501)	

A401

GENERAL REFLECTED CEILING PLAN NOTES

- 1. EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT
- IMMEDIATELY. 2. ALL CEILING TILE TO BE CENTERED IN SPACE EXACTLY AS SHOWN UNLESS NOTED OTHERWISE. ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS. SEE SPECS. ALL GWB CEILINGS TO BE PAINTED FLAT CEILING WHITE, UNLESS NOTED 3. OTHERWISE.
- 4. SEE ELECTRICAL FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS. SEE ELECTRICAL FOR ALL EMERGENCY AND EGRESS FIXTURE LOCATIONS. 5.
- SEE MECHANICAL FOR ALL MECHANICAL ELEMENTS. 6. CEILING HEIGHT TO BE <u>8' - 0"</u> AFF UNLESS NOTED OTHERWISE. 7.
- COORDINATE WITH ELECTRICAL AND MECHANICAL FOR ALL FIXTURES AND 8. EQUIPMENT SPECIFICATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION. WHERE ENGINEERING DRAWINGS CALL FOR ROOF PENETRATIONS WITH EXISTING ROOFING SYSTEM OR ROOF SYSTEM TO BE REPLACED, FLASH AND SEAL AS REQUIRED.

9. EXIT SIGNS

REFI ECTED CEILING PLAN LEGEND

<u>R</u>	<u>EFLECTED C</u>	<u>EILING PLAN LEGEND</u>
		2'x4' ACOUSTICAL PANEL CEILING (APC) (NEW). HEIGHT VARIES.
		SUPPLY DIFFUSER, SEE MECHANICAL.
		RETURN REGISTER, SEE MECHANICAL.
		EXHAUST DUCT, SEE MECHANICAL.
		2'x4' LIGHTING FIXTURE, SEE ELECTRICAL
	0	1'x4' LIGHTING FIXTURE, SEE ELECTRICAL
		EXTERIOR LIGHTING FIXTURE, SEE ELECTR
	\oslash	EXTERIOR RECESSED CAN LIGHT, SEE ELEC
	101	EXIT SIGN, SEE ELECTRICAL
		EXIT LIGHT, SEE ELECTRICAL
<u>REN</u>	NOVATION H	KEY NOTE LEGEND
FLOOR	PLAN:	
R1	PROVIDE NEW 5/8" GY WOOD PANELING, THI	PSUM BOARD LAYER AT LOCATION(S) OF R S WALL.
R2	CASEWORK AND SHELV PROVIDED BY GC. LOCA FINAL BLOCKING LOCA	VING PROVIDED BY OWNER. CASEWORK BL ATIONS SHOWN FOR REFERENCE ONLY. GC TIONS WITH OWNER.
R3	PROVIDE NEW MECHA DESIGN PRODUCT	NICAL SCREEN, SEE SHEET A001 FOR BASIS (
R4	PROVIDE NEW CONCRE AND PLUMBING	ETE SLAB INFILL, THIS HATCH AREA; SEE STR
<u>ATTIC</u>	PLAN:	
R5	EXTG MECHANICAL EQ OF DUCTWORK WITH I	UIPMENT TO BE REMAIN. COORDINATE LO MECHANICAL. SEE MECHANICAL

- R6 PROVIDE NEW ATTIC ACCESS WITH ACCESS LADDER; GC TO COORDINATE PLACEMENT AND ORIENTATION WITH ARCHITECT ONCE PRODUCT HAS BEEN SELECTED. SEE STRUCTURAL FOR EXISTING FRAMING MODIFICATIONS <u>BASIS-OF-DESIGN:</u> MFR: FIXFAST OR APPROVED EQUAL
- PRODUCT: KATTCLIMB FOLD DOWN LADDER OR APPROVED EQUAL TYPE: RL62 COMMERCIAL FOLD DOWN LADDER OR APPROVED EQUAL
- R7 PATCH EXTERIOR WALL AT FORMER LOUVER LOCATION WITH LIKE CONSTRUCTION. EXTERIOR FINISH TO BE EIFS 1, SEE <u>A401</u> SEE MECHANICAL
- (R8) EXTG MECHAMICAL LOUVER TO REMAIN, SEE MECHANICAL
- (R9) INSTALL NEW MECHANICAL LOUVER, SEE MECHANICAL
- ROOF PLAN:
- REPAIR EXTG ROOF PENETRATIONS. GC TO COORDINATE SCOPE OF WORK DOES NOT VOID EXTG ROOF WARRANTY
- **REFLECTED CEILING PLAN:**
- R11) PROVIDE BULK HEAD ASSEMBLY AT 6" BELOW CEILING AND EXTEND TO 6" ABOVE CEILING. BULKHEAD ASSEMBLY TO INCLUDE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE OF 3 5/8" METAL STUD. VERTICAL FACES PAINTED TO MATCH WALL COLOR. HORIZONTAL FACES TO BE PAINTED FLAT CEILING WHITE.

7 ENLARGED FLOOR PLAN AT RESTROOM 107B 1/2" = 1'-0"

TOILET ACCESSORY NOTES

- TA1. B-5806.99 SERIES CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS, 18"
- LENGTH. TA2. B-5806.99 SERIES CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS, 36"
- LENGTH. TA3. B-5806.99 SERIES CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS, 42"
- LENGTH. TA4. B-165 24" X 30" SERIES FRAMED MIRROR
- TA5. ASI 0697-GAL TOILET PAPER HOLDERS W/SHELF
- TA6. ASI 8523A STAINLESS STEEL TOILET PAPER DISPENSERS
- TA7. B-6827 SURFACE MOUNTED HAT AND COAT HOOK

NOTE: ALL TOILET ACCESSORIES EXCEPT TA 5 & TA 6 TO BE BY BOBRICK WASHROOM EQUIPMENT, OR APPROVED EQUAL

TYPICAL TOILET ACCESSORY MOUNTING **LOCATION - PROTRUDING DISPENSERS**

ALLOWABLE LOCATION FOR PROTRUDING DISPENSER BELOW GRAB BAR

NOTE: ACCESSIBILITY STANDARDS ESTABLISHED PER ICC A117.1-2009 AND ADA 2010 EDITION.

GEN	NERAL ELEVATION NOTES
	NO CONTROL JOINTS ARE SHOWN IN EIFS SYSTEM. AFTER OF EXACT EIFS SYSTEM TO BE USED, COORDINATE CONTR
	AND LOCATIONS WITH ARCHITECT.

- ROOF SLOPE TO BE X:12 UNLESS NOTED OTHERWISE. DIMENSIONS TO FACE OF BRICK ARE FROM DOMINANT BRICK SURFACE ABOVE WATER
- TABLE. REFER TO A800S FOR GLAZING AND STOREFRONT MATERIALS. 4.

EXTERIOR MATERIAL KEY

EIFS 1 - WATER DRAINAGE EXTERIOR INSULATION AND FINISH SYSTEM

EXTERIOR MATERIAL LEGEND

<u>EIFS 1 - WATER-DRAI</u>	NAGE EXTERIOR INSULATION AND FINISH SYSTI
MFR:	STO CORP OR APPROVED EQUAL
PRODUCT:	TBD
FINISH:	TBD
COLOR:	TO BE SELECTED BY ARCHITECT FROM
	MFR FULL RANGE

EXPT 1 - EXTERIOR PAINT (FIELD COLOR) <u>CLEANING</u> 1) CLEAN ALL EXTG EIFS USING A "SOFT WASH" OF 1200 PSI MAX 2) CLEAN USING: MFR: GREAT LAKES LABORATORIES PRODUCT: NO RINSE PREPAINT CLEANER PAINT: ROSE TALBERT MFR: PRODUCT: 200 PREMIUM HIGH PERFORMANCE BONDAPLEX LOW LUSTRE (2 COATS) COLOR: TBD FINISH: EG-SHEL EXPT 2 - EXTERIOR PAINT (EXTERIOR DOORS) MFR: PRODUCT: ROSE TALBERT TBD

COLOR: TBD FINISH:

EG-SHEL

R SELECTION AND APPROVAL ROL JOINT REQUIREMENTS

TEM

2

PROJECT NUMBER SHEET NUMBER

A401

ELEVATIONS

SHEET NAME

DATE

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C-19-066-2

GENERAL BUILDING SECTION NOTES

- INSULATION NOT SHOWN IN INTERIOR PARTITIONS FOR CLARITY. REFER TO FLOOR PLAN AND PARTITION TYPES FOR DETAILS. REFER TO <u>A201</u> FOR CEILING HEIGHTS AND TYPES.
- REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL LIGHTING AND MECHANICAL DEVICE SPECIFICS. REFER TO <u>A900S</u> FOR CASEWORK AND FINISH DETAILS.
- ALL WOOD THAT COMES DIRECTLY INTO CONTACT WITH CEMENT OR MASONRY SHALL BE PRESSURE TREATED.

TRANSVERSE BUILDING SECTION - EAST/WEST 2 @ OFFICE SPACE 3/16" = 1'-0"

- INSULATION NOT SHOWN IN INTERIOR PARTITIONS FOR CLARITY. REFER TO FLOOR PLAN AND PARTITION TYPES FOR DETAILS. 1. REFER TO A201 FOR CEILING HEIGHTS AND TYPES.
- REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL LIGHTING AND MECHANICAL DEVICE SPECIFICS.
- REFER TO <u>A900S</u> FOR CASEWORK AND FINISH DETAILS. 4. ALL WOOD THAT COMES DIRECTLY INTO CONTACT WITH CEMENT OR MASONRY SHALL BE PRESSURE TREATED.

ASSUMED) 23' - 0" - ASPHALT SHINGLE ROOF, XTR B.O. TRUSS (EXTG ASSUMED) 9' - 10" - EXTERIOR EIFS TO BE CLEANED AND PAINTED, TYPICAL. SEE ELEVATIONS -0" - CONCRETE FOOTING, TYP, XTR T.O. ROOF (EXTG ASSUMED) 23' - 0" - MECHANICAL EQUIPMENT, TYP, SEE MECHANICAL - ASPHALT SHINGLE ROOF, XTR B.O. TRUSS (EXTG ASSUMED) 9' - 10" - EXTG ELECTRICAL PANELS, SEE ELECTRICAL FIRST FLOOR CONCRETE FOOTING, TYP, XTR

T.O. ROOF (EXTG

GENERAL WALL SECTION NOTES

- DIMENSIONS TO EIFS ARE TO ACTUAL THICKNESS OF INSULATION, USING THE BASIS-1. OF-DESIGN SYSTEM, AS INDICATED ON A401, TO ACHIEVE INTENDED R-VALUE. SHOULD EIFS SYSTEM INSULATION TYPE OR INSTALLED THICKNESS CHANGE, NOTIFY ARCHITECT IMMEDIATELY, AS IECC REQUIREMENTS MAY NO LONGER BE MET. REFER TO A201 FOR CEILING HEIGHTS AND TYPES.
- REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL LIGHTING AND MECHANICAL DEVICE SPECIFICS. REFER TO <u>A900S</u> FOR CASEWORK AND FINISH DETAILS.
- ALL WOOD THAT COMES DIRECTLY INTO CONTACT WITH CEMENT OR MASONRY SHALL BE PRESSURE TREATED.

					DOOR SCHEDULE													
	S	7 F		DOOR				FRAME										
NUMBER	WIDTH		TYPE	MATERIAL	FINISH		TYPE	MATERIAI	FINISH	ΗΕΔΟ	IAMR	GROUP	HARDWARE COMMENTS	COMMENTS				
NOMBER	WID III	IILIGIII							1111311	IILAD	574118	GROOT		COMMENTS				
101.1	6' - 0"	6' - 8"	C.72.80.00	SF 1	SF 1	-	3	SF 1	SF 1			AC 1	PROVIDE PANIC HARDWARE AS PART OF HADWARE PACKAGE					
101.2	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	HM	P 3			AC 2	PROVIDE CLOSER AS PART OF HARDWARE PACKAGE					
102.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 2	PROVIDE CLOSER AS PART OF HARDWARE PACKAGE					
103.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3									
104.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3									
105.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3				PROVIDE CLOSER AS PART OF HARDWARE PACKAGE					
106.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 2						
106A.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 3						
106B.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 3						
106C.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 3						
106D.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3									
106E.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 3						
106F.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	HM	Р 3			AC 3						
106G.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	HM	P 3									
107.1	6' - 0"	6' - 8"	C.72.80.00	SF 2	SF 2	-	3	SF 2	SF 2			AC 2	PROVIDE PANIC HARDWARE AS PART OF HADWARE PACKAGE					
107.1A	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	HM	P 3				PROVIDE CLOSER AS PART OF HARDWARE PACKAGE					
107.1B	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	HM	P 3				PROVIDE CLOSER AS PART OF HARDWARE PACKAGE					
107.1C	3' - 0"	6' - 8"	A.36.80.00	WOOD		-	1	HM	P 3			163						
108.1	3' - 0"	6'-8"	A.36.80.00	WOOD		-	1	HIM	P 3			AC 3						
110.1	3-0	0-0 C' 9"	A.30.80.00	WOOD		-	1 1					AC 3						
117.1	3-0 2'0"	6' 9"	A.30.00.00	WOOD		-	1		ר <i>ב</i> כ ס									
112.1	3'-0"	6'-8"	A.30.80.00	WOOD	ST 1	-	1 1	нм										
114.1	3' - 0"	6' - 8"	Δ 36 80 00	WOOD	ST 1		1	НМ	P 3									
115 1	3' - 0"	6' - 8"	Δ 36 80 00	WOOD	ST 1		1	НМ	P 3									
116 1	3' - 0"	6' - 8"	A 36 80 00	WOOD	ST 1		1	HM	P 3			AC 2	PROVIDE CLOSER AS PART OF HARDWARE PACKAGE					
117.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	P 3									
118.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	HM	P 3			AC 3						
120.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3									
121.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 2	PROVIDE CLOSER AS PART OF HARDWARE PACKAGE					
121A.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 3						
121C.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 3						
121D.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 3						
121E.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3									
121F.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3				PROVIDE CLOSER AS PART OF HARDWARE PACKAGE					
123.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3									
124.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 3						
125.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 3						
126.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3			AC 3						
127.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	НМ	Р 3				PROVIDE CLOSER AS PART OF HARDWARE PACKAGE					
128.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	HM	Р 3			AC 3						
130.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	HM	P 3			AC 3						
131.1	3' - 0"	6' - 8"	A.36.80.00	WOOD	ST 1	-	1	HM	P 3			AC 3						
132.1	3' - 0"	6' - 8"	A.36.80.00	WOOD		-	1	HM	23			463						
133.1	3' - 0"	6' - 8"	A.36.80.00	WOOD		-	1	HM	23			AC 3						
134.1	3' - 0"	ю' - 8" С.	A.36.80.00	WOOD	51 T	-	1	HIM	۲ <i>3</i>			AC 3						
135.1	ט - ט" יי אי	ο - δ" <u> </u> <u> </u>	A.36.80.00	WOOD		-	1		۲ <i>3</i>			AC 3						
130.1	5 - U" 2' O"	0-0 6'.0"	A.30.00.00			- _	1 1											
127.1	ט- כ ייַ חַיַיַ	0 - 0 6' 0"	A.30.00.00	WOOD		-	1		г									
1.00.1	0 - C	0-0	A.30.00.00	**000	ווכ	-	1	1 1 1 1 1	ر ۱									

	EXISTING DOOR SCHEDULE														
	SI	ZE		DOOR		FIRE		FRAME				HDWR			
NUMBER	WIDTH	HEIGHT	TYPE	MATERIAL	FINISH	RATING	TYPE	MATERIAL	FINISH	HEAD	JAMB	GROUP		HARDWARE COMMENTS	COMMENTS
XTR107.2	2' - 8"	6' - 8"	XTR	XTR	EXPT 2	XTR	XTR	XTR	EXPT 2	XTR	XTR	KEYED	XTR		
XTR107.3	2' - 8"	6' - 8"	XTR	XTR	EXPT 2	XTR	XTR	XTR	EXPT 2	XTR	XTR	KEYED	XTR		
XTR116.1	6' - 0"	6' - 8"	XTR	XTR	EXPT 2	XTR	XTR	XTR	EXPT 2	XTR	XTR	AC 1	XTR		
XTR139.1	2' - 6"	6' - 8"	XTR	XTR	EXPT 2	XTR	XTR	XTR	EXPT 2	XTR	XTR	KEYED	XTR		
XTR140.1	6' - 0"	6' - 8"	XTR	XTR	EXPT 3	XTR	XTR	XTR	EXPT 2	XTR	XTR	KEYED	XTR		

2" HOLLOW METAL FRAME

	ROOM FINISH SCHEDULE												
		FLOOR	BASE	CEILING	WA	LL FINISH (PL	AN ORIENTA	TION)					
NO.	NAME	FINISH	FINISH	FINISH	NORTH	SOUTH	EAST	WEST	C				
100	COVERED ENTRY	IVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
101	PUBLIC LOBBY	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
102	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
103	CONFERENCE ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
104	STOR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
105	RR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
106	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
106A	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
106B	CONF ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
106C	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
106D	WORK ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
106E	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
106F	OFFICE	LVI 1	RB 1	ACI 1	P 1	P 1	P 1	P 1					
106G													
107													
107A					P 1								
107B	STOR		RB 1		P 1	P 1	P 1	P 1					
1070	OFFICE		RB 1	ACT 1	P 1	P 1	P 1	P 1					
109	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
110	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
111	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
112	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
113	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
114	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
115	WORK ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
115	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
116	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
117	JAN	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
118	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
119	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
119	WORKROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
120	STOR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
121	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
121A	OFFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
121B	STOR.	LVI 1	RB 1	ACI 1	P 1	P 1	P 1	P1					
1210	OFFICE												
1210													
121L 121F	BR		RB 1		P 1	P 1	P 1	P 1					
127			RB 1	ACT 1	P 1	P 1	P 1	P 1					
123	BREAK ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
124	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
125	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
126	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
127	RR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
128	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
129	CIRCULATION	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
130	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
131	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
132	STOR	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
133	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
134	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
135	OFFICE	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
136	CONFERENCE ROOM	LVT 1	RB 1	ACT 1	P 1	P 1	P 1	P 1					
137	KK		KB 1	ACT 1	P1	P 1	P 1	P 1					
138	STORAGE/ IT		KB 1		P1		P 1						
139													
139													
140		AIK	AIK	XIK	AIK	AIK	AIK	AIK					

INTERIOR FINISH SPECIFICATION LEGEND

FLOORING:				
LVT 1 - LUXURY VI	IYL TILE		RB 1 - RUBBE	R COVE BASE
MFR: COLLECTION: STYLE: COLOR: SIZE: THICKNESS: WEAR LAYER: WARRANTY: INSTALL:	SHAW FLOORING TERRAIN II TERRAIN II 20 MIL 0454V ROOT 00568 6 IN X 48 IN 2.5 MM 20 MIL 15 YEAR COMMERCIAL LIMITED WARRANTY SEE FINISH PLAN FOR DIRECTION		MFR: STYLE: COLOR: SIZE: NOTE:	TARKETT INFLECTION (MW-00-G) WITH 1/2" QUARTER ROUND (QTR-00-A) 00 UNFINISHED 5 1/4" WITH 1/2" TO BE PAINTED TO MATCH EXTG WHITE (P 3)
PAINT:				
P 1 - (GENERAL WA	LL PAINT COLOR)		P 2 - (BASE)	
MFR:	ROSE TALBERT		MFR:	ROSE TALBERT
COLOR: FINISH:	0196 OVERGROWN EG-SHEL		COLOR: FINISH:	WHITE SEMI-GLOSS
P 3 - (INTERIOR DO	OR FRAMES)			
MFR: COLOR: FINISH:	ROSE TALBERT CHOCOLATE #H0142 FLAT			
ST 1 - (STAIN AT DO	DORS)			
MFR:	ALGOMA, OR EQUAL			
	FACTORY FINISH TO MATCH EXISTING EXEC SUITE DOORS BASIS OF DESIGN: MINWAX EARLY AMERICAN 230 V MINIWAX POLYURETHANE CLEAR GLOSS	WITH		
CEILING.		30	JLID SURFACE.	
ACT 1 - ACOUSTICA	L CEILING TILE		SS 1 - COUNT	ERTOP SOLID SURFACE
MFR: STYLE: COLOR: SIZE: GRID:	ARMSTRONG #933 WHITE 2' X 2' 15/16" PRELUDE WHITE		MFR: COLOR:	TBD* TBD*
TOILET PARTITIONS**:				
PH 1 - TOILET PART	ITIONS**			
MFR: STYLE:	COLUMBIA POLYLIFE OVERHEAD BRACED			
** PREFERRED VENDOF CONTACT: NAITONAL S 29201 803.256.9686	R: NATIONAL SPECIALTIES PECIALTIES, 825 GARLAND STREET, COLUMBIA, SC			
CASEWORK*:				
GRANITE:*				
STYLE: THICKNESS: EDGE:	GRALLO VERONA 3 CM EASED			
BACKSPLASH 1:*		BAC	KSPLASH 2:*	
LOCATION: TILE: STYLE: THICKNESS: EDGE:	4" AT RESTROOMS ONLY GRANITE GRALLO VERONA 3 CM EASED		LOCATION: TILE: COLOR: PATTERN: GROUT: TRIM: NOTE:	KITCHEN/BREAK ROOM 3 X 6 SUBWAY TILE WHITE BRICK WHITE RONDEL PRO100
CABINETS:*			NUTE.	COORDINATE LOCATIONS WITH OWNER
MFR/SPECIES: DOORSTYLE:	ECHELON/MAPLE NORWICH LINEN			

UNLESS DIRECTED OTHERWISE CONTACT: CAPITAL KITCHEN AND BATH, 1801 GERVAIS STREET, COLUMBIA, SC 29201 803.254.5889

GENERAL INTERIOR FINISH NOTES 1.

- FOR FINISH LOCATIONS, REFER TO PLAN NORTH, SOUTH, EAST AND WEST FOR FINISH PLACEMENT. FIELD VERIFY ALL LOCATIONS FOR CASEWORK PLACEMENT, PRIOR TO FABRICATION. ENSURE ALL CLEARANCES ARE MET AND ACCOUNTED FOR. NOTIFY CONTRACTOR OF ANY DISCREPANCIES IMMEDIATELY. ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. FINISHES SHALL MEET THE FOLLOWING REQUIREMENTS FOR NONSPRINKLERED BUILDING PER 2018 IBC EDITION WITH SOUTH CAROLINA MODIFICATIONS, TABLE 803.13, UNLESS NOTED OTHERWISE: <u>CLASS A</u> FOR INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS, CLASS B FOR CORRIDORS AND ENCLOSURES FOR EXIT ACCESS
- INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND 4. RECOMMENDATIONS. ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS. PROVIDE PROPER MATERIAL TRANSITION STRIPS WHERE NEEDED. GENERAL CONTRACTOR TO COORDINATE ACOUSTICAL CEILING INSTALLATION
- WITH MILLWORK PROFILES. ALL PRODUCTS SELECTED ARE FOR BASIS OF DESIGN PURPOSES AND EQUAL 8. PRICING EXERCISE. PLEASE ENSURE ANY SUBSTITUTIONS/ALTERNATES ARE REVIEWED WITH OWNER PRIOR TO INSTALLATION.

STAIRWAYS AND RAMPS, AND <u>CLASS C</u> FOR ROOMS AND ENCLOSED SPACES.

1 ENLARGED FLOOR PLAN AT BREAK ROOM 1/2" = 1'-0"

ENLARGED FLOOR PLAN AT WORKROOM 2 106D 3/8" = 1'-0"

3 ENLARGED FLOOR PLAN AT SERVICE SINK 1/2" = 1'-0"

4 ENLARGED FLOOR PLAN AT WORK ROOM 115 1/2" = 1'-0"

7 STANDARD CASEWORK SECTION DETAIL 01 3/4" = 1'-0"

GENERAL INTERIOR FINISH NOTES FOR FINISH LOCATIONS, REFER TO PLAN NORTH, SOUTH, EAST AND WEST FOR 1.

- FINISH PLACEMENT. FIELD VERIFY ALL LOCATIONS FOR CASEWORK PLACEMENT, PRIOR TO FABRICATION. ENSURE ALL CLEARANCES ARE MET AND ACCOUNTED FOR. NOTIFY CONTRACTOR OF ANY DISCREPANCIES IMMEDIATELY. ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. FINISHES SHALL MEET THE FOLLOWING REQUIREMENTS FOR NONSPRINKLERED BUILDING PER 2018 IBC EDITION WITH SOUTH CAROLINA MODIFICATIONS, TABLE 803.13, UNLESS NOTED
- OTHERWISE: CLASS A FOR INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS, CLASS B FOR CORRIDORS AND ENCLOSURES FOR EXIT ACCESS STAIRWAYS AND RAMPS, AND <u>CLASS C</u> FOR ROOMS AND ENCLOSED SPACES. INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND 4. **RECOMMENDATIONS.**
- ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS. PROVIDE PROPER MATERIAL TRANSITION STRIPS WHERE NEEDED. GENERAL CONTRACTOR TO COORDINATE ACOUSTICAL CEILING INSTALLATION
- WITH MILLWORK PROFILES. ALL PRODUCTS SELECTED ARE FOR BASIS OF DESIGN PURPOSES AND EQUAL 8. PRICING EXERCISE. PLEASE ENSURE ANY SUBSTITUTIONS/ALTERNATES ARE
- REVIEWED WITH OWNER PRIOR TO INSTALLATION.

GENERAL HARDWARE NOTES HARDWARE TO BE PROVIDED BY OWNER AND INSTALLED BY OWNER.

1.

GENERAL CASEWORK NOTES

- CASEWORK TO BE PROVIDED BY OWNER AND INSTALLED BY OWNER. GENERAL CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING FOR CASEWORK INSTALLATION. GC TO COORDINATE CASEWORK SIZING AND LOCATIONS WITH OWNER. AT LOCATIONS WHERE SINK IS PROVIDED AND 34" CASEWORK IS INDICATED, 3.
- CRITICAL DIMENSION IS TO BE 34" TO COUNTER OR LIP OF COUNTER-MOUNTED SINK, WHICHEVER IS HIGHER.

05/04/2021

C4 **TYPICAL LINTEL DETAIL** S1.0 1"=1'-0"

GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND BRACING ALL WORK DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL OSHA REGULATIONS ON THE PROJECT SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS SHOWN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO FABRICATION AND CONSTRUCTION.

2. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR OR THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL TO THE WORK OF THE CONTRACTOR. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR TO PERFORM THE CONSTRUCTION WORK IN ACCORDANCE WITH DRAWINGS. THE COST OF ANY TESTS OR WORK REQUIRED BECAUSE OF CONTRACTOR'S FAILURE TO PERFORM IN ACCORDANCE WITH THE DRAWINGS SHALL BE BORNE BY THE CONTRACTOR.

3. CONTRACTOR SHALL REFER TO OTHER DISCIPLINE'S DRAWINGS AND VISIT SITE TO OBSERVE (E) CONSTRUCTION AND AS-BUILT CONDITIONS. SURVEY PROJECT SITE TO LOCATE UNDERGROUND ITEMS & UTILITIES. REMOVE / RELOCATE EXISTING ITEMS IF REQUIRED FOR NEW CONSTRUCTION. COORDINATE ANY DISRUPTION OF SERVICES WITH OWNER.

4. CONTRACTOR SHALL REFER TO ARCHITECTURAL TO COORDINATE ALL DIMENSIONS AND ELEVATIONS RELATED TO WORK SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DIMENSIONS WITH THE FABRICATOR. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

5. ALL MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, CURRENT EDITION.

6. REFERENCE TO STANDARD SPECIFICATIONS OF ANY TECHNICAL SOCIETY, ORGANIZATION, OR ASSOCIATION, OR TO CODES OF LOCAL OR STATE AUTHORITIES, SHALL MEAN THE LATEST STANDARD, CODE, SPECIFICATION, UNLESS SPECIFICALLY STATED OTHERWISE.

7. BOTH BAILEY AND SON ENGINEERING, INC. AND THE ENGINEER WHOSE PROFESSIONAL SEAL IS AFFIXED TO THESE CONTRACT DRAWINGS DISCLAIM ANY IMPLIED WARRANTIES OF ANY KIND WHATSOEVER INCLUDING THE IMPLIED WARRANTY OF MERCHANTABILITY, THE IMPLIED WARRANTY OF FITNESS FOR A PARTICULAR PURPOSE AND ANY IMPLIED WARRANTY OF FITNESS OF THESE DRAWINGS AND/OR SPECIFICATIONS.

8. THE REHABILITATION OF AN EXISTING STRUCTURE REQUIRES ASSUMPTIONS TO BE MADE REGARDING EXISTING CONDITIONS. THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT ADDITIONAL COST OR WITHOUT DESTROYING OTHERWISE SERVICEABLE PORTIONS OF THE STRUCTURE. THE ENGINEER SHALL NOT BE LIABLE FOR ANY COST ARISING FROM THE DISCOVERY OF UNKNOWN CONDITIONS IN THE EXISTING STRUCTURE.

STRUCTURAL STEEL NOTES:

1. DESIGN, FABRICATION, AND ERECTION OF ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE AISC MANUAL OF STEEL CONSTRUCTION, FIFTEENTH EDITION, UNLESS NOTED OTHERWISE.

- 2. MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS:
- ANGLES AND PLATES......ASTM A36 WELDING ELECTRODES......OR EQUAL)
- STEEL NOT PREVIOUSLY NOTED......ASTM A36 (OR BETTER)

3. ALL STRUCTURAL WELDING SHALL BE MADE BY A CERTIFIED WELDER IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS SPECIFICATIONS D1.1. MINIMUM SIZE OF FILLET WELD SHALL BE 1/16" SMALLER THAN MATERIAL THICKNESS OF THICKER PART JOINED, UNLESS NOTED OTHERWISE.

ELECTRODE STORAGE FOR LOW—HYDROGEN ELECTRODES SHALL BE STORED @ 250° WHEN EXPOSURE EXCEEDS REQUIREMENTS OF COLUMN A, TABLE 51 OF AWS. WELD CLEANING AND PAINTING OF COMPLETED WELDS SHALL BE IN ACCORDANCE WITH AWS.

4. ALL BOLTED CONNECTIONS SHALL BE BEARING-TYPE USING 3/4" DIAMETER AND BROUGHT TO A SNUG TIGHT CONDITION. A325-N BOLTS WITH THREADS INCLUDED IN SHEAR PLANE, UNLESS NOTED OTHERWISE.

- 5. SHOP CONNECTIONS MAY BE BOLTED OR WELDED.
- 6. FIELD CONNECTIONS SHALL BE BOLTED UNLESS NOTED OTHERWISE ON DRAWINGS.
- 7. PRIME STEEL WITH STANDARD SHOP PRIMER AT 2.0 MILS DFT. SHOP PRIMER SHALL BE COMPATIBLE WITH OVERCOAT AS REQUIRED.

<u>PLAN_NOTES:</u>
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO FABRICATION OR CONSTRUCTION.
2. L1 = (2) L4X4X⅔ REF. DETAIL C4/S1.0
3. REF. DETAIL B4/S1.0 WHEN RETURN WALL PREVENTS LINTEL BEARING BEYOND EDGE OF ROUGH OPENINGS

DES	IG	N										
221 PICKENS STREET (29205) POST OFFICE BOX 5875 COLUMBIA, SOUTH CAROLINA 29250 803.834.4048 p 803.834.4082 f WWW.1X1DESIGN.COM												
WWW.1X1DESIGN.COM												
BAILEY AND SON ENGINEERING INC. No. 000523												
COPYRIGHT &	ENGI SANTBU DUTH CC) 233- 21.com ICE: THE PRC NGINEER HE CONE CHANGEN S DRAMI RODUCE S DRAMI RODUCE S PECIFI	NEERS RG DRIVE AROLINA 8844 OPERTY OF S. AND IS DITION THAT OF H2L. NG IS NOT D OR USED QUIRED FOR IC PROJECT.										
Bailey and Son E 124 Edinburgh C Greenville, South Phone (864) 23 www.BaSE91.co	SE Enginee ourt, Su Carolin 32 - 128 m	ering, Inc nite 209 na 29607 4										
COLUMBIA HOUSING AUTHORITY	COLUMBIA HOUSING AUTHORITY ANNEX BUILDING RENOVATION	2133 WALKER SOLOMON WAY, COLUMBIA, SOUTH CAROLINA 29204										
CLIENT NAME	PROJECT NAME	PROJECT ADDRESS										
REVISIONS No. Descriptio A Owner Revi 0 PERMIT & B	on ew BID	Date 03-16-2021 04-28-2021										
1X1 DESIGN PROJECT NUMBER H2L PROJECT NUMBER SHEET NUMBER S1	C-19-066-2 20002.02											
SHEET NAME LINTE AND I	L PLA DETAI	N LS										

<u>HEAT</u>	ING VENTILATION AND AIR CONDITIONING SPECI	FICATIO	NS	13. CO A. B.	NTROLS: CONTROI CONTROI	L CON
1. ALL W CONS 2. THESE A. P T	ORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL MECHANICAL CODE, 2009 ERVATION CODE, 2018 EDITIONS OF THE INTERNATIONAL BUILDING AND FIRE CODES, AND APPLICABLE LO COMMON PROVISIONS APPLY TO ALL MECHANICAL WORK COVERED IN THIS CONTRACT, INCLUDING HVA ROVIDE ALL LABOR, MATERIAL, EQUIPMENT, MACHINERY, SUPERVISION, MANAGEMENT, AND ALL OTHEF HE COMPLETE MECHANICAL SYSTEM. THE ENTIRE MECHANICAL SYSTEMS SHALL BE INSTALLED, STAF	INTERNATIONAL DCAL ORDINANCE AC AND RELATED R ITEMS NECESS/ RTED, TESTED, AI	ENERGY S. PIPING. ARY FOR DJUSTED	C. D.	CONDUIT CONTROI ROUTED CONTROI WITH NFF	L WIR INSID L WIR PA RE
B. A C. A	LL LABOR, EQUIPMENT, MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE NATION LL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. WHITH CODE REQUIREMENTS THE CODES SHALL HAVE PRECEDENCE	NAL AND LOCAL C HERE THIS MAY C	ODES. ONFLICT	E. 15. CLI	WALL MC DRAWING EANING:	JUNIE JS. LO
D. T P F	HE CONTRACTOR AND/OR THE APPROPRIATE SUBCONTRACTOR SHALL CONCURRENTLY HOLD ALL ERFORM THE WORK SHOWN AND SPECIFIED ON THESE DRAWINGS. CONTRACTOR SHALL FURNISH AN EES AND TAXES ASSOCIATED WITH HIS WORK.	REQUIRED LICEN ID PAY FOR ALL F	NSES TO PERMITS,	B. C	PRIOR TO CONTRAC) STA CTOR
E. T D C W	HE CONTRACTOR SHALL BE BOUND BY THE WARRANTY AS DESCRIBED UNDER THE GENERAL OF ESCRIPTION THAT FOLLOWS, WHICHEVER IS MORE STRINGENT. THE CONTRACTOR SHALL PROVIDE DCUMENTATION WITH REGARD TO MANUFACTURER'S WARRANTIES ON ALL EQUIPMENT INSTALLED BY ONTRACTOR SHALL GUARANTEE THAT ALL WORK SHALL BE FREE FROM DEFECTS DUE TO FAU ORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL ON PARK FOR ANY DAMAGE RESULTING AT NO COST TO THE OWNER PROVIDED THAT DEFECTS ARE NO	CONDITIONS OR E THE OWNER W THE CONTRACTO ILTY MATERIALS REMEDY SUCH I	BY THE VITH ALL DR. THE AND/OR DEFECTS	16. ST/ A.	SHALL RE FILTERS / ART-UP: ALL NEW COMPRES	EPLAC AT TH
	WNER, ACTS OF GOD, OR CIVIL UNREST. NDER NO CIRCUMSTANCES IS THE CONTRACTOR TO INSTALL ANY MATERIAL OR EQUIPMENT, FORE SBESTOS CONTAINING MATERIAL.	IGN OR DOMEST	IC, WITH	В.	LEAKS SH EQUIPME	HALL I ENT SI
3. DIMEN INTEN AND T	SIONS: DRAWINGS SHOULD BE INTERPRETED AS GENERAL LAYOUT AND ARRANGEMENT DRAWINGS. DED TO SHOW COMPLETE OR PRECISE MEASUREMENTS AND DETAILS OF THE BUILDING AND INSTALLA HEY DO NOT INCLUDE ALL DETAILS OF MANUFACTURED EQUIPMENT, CONSTRUCTION, PIPING, DUCTWO	THE DRAWINGS A TION IN EVERY R RK, ETC. MEASU	ARE NOT ESPECT, REMENT	C. 17. TES	DESIRED OR IN DIO ST AND BAI	OR F SITAL LANC
FIGUR MEASU AND M	ES WRITTEN UPON THE DRAWINGS INDICATING DIMENSIONS SHALL BE USED INSTEAD OF SCALED MEA IREMENT TAKEN FROM A DRAWING SHALL BE RELIED UPON AS A DIMENSION FOR INSTALLATION PURPO IEASUREMENTS ARE TO BE DEFINED IN THE FIELD, AND THE CONTRACTOR SHALL BE RESPONSIBLE FO	ASUREMENTS. N OSES. EXACT LO OR THEIR ACCUR/	O SCALE CATIONS ACY AND	А. В.	ACTUAL / THE FINA WITH THI	AIRFL
4. INTER INTER AND C TO AV RESPO	CONSTRUCTION OF THE WORK. FERENCES: THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ALL OTHER TRADES FERENCES. HE SHALL EXAMINE IN ADVANCE THE LOCATION OF ELECTRICAL SYSTEMS, DUCTS, PIPING, THER EQUIPMENT AND COMPONENTS TO BE INSTALLED, AND PROPERLY COORDINATE THE INSTALLATIO OID INTERFERENCES. THE ENGINEERS HAVE CONSIDERED EXISTING INTERFERENCES IN MAKING THE INSIBILITY OF THE CONTRACTOR TO MODIFY, OFFSET, OR OTHERWISE ACCOMMODATE ALL EQUIPME	IN ORDER TO EL STRUCTURES, CO DN OF MECHANICA DRAWINGS, BUT I ENT TO THE STR	LIMINATE DNDUITS, AL WORK T IS THE UCTURE,	C. D. E.	MAXIMUN RECORD REQUIRE BALANCE MAXIMUN THE TES	VOLT D TO SCC N POS T ANI
UTILIT 5. UTILIT 6. SUBST	ES, AND OTHER EQUIPMENT. ES: UNLESS NOTED OTHERWISE THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL OF HIS ITUTIONS: THE MATERIALS, PRODUCTS, AND EQUIPMENT DESCRIBED IN THE DOCUMENTS ESTABLISH A	UTILITY REQUIRE STANDARD OF RI	MENTS. EQUIRED	F. G.	SIZE SHA CHECK A RECORDI	LL BE ND RI ED DA
SUBST A. S O	TUTION. JBSTITUTION OF EQUIPMENT, PRODUCTS, OR MATERIAL MUST BE APPROVED BY THE OWNER OR HIS RE F PROPOSED SUBSTITUTIONS WILL BE MADE AS PART OF SUBMITTAL REVIEW AFTER THE PROJECT IS AW	EPRESENTATIVE.	REVIEW	H.	PROVIDE IDENTIFIC DATA SHI	BAL CATIO EETS
B. T W 7. SUBM	HE SUBSTITUTION OF PRODUCTS, MATERIAL, OR EQUIPMENT WHICH REQUIRES REDESIGN OF ANY PO ILL BE PREPARED BY THE CONTRACTOR AT HIS EXPENSE AND APPROVED BY THE OWNER OR HIS REPRE TTALS: THE CONTRACTOR SHALL PROVIDE SIX COPIES OF CERTIFIED DETAIL CATALOG CUT SHEET	DRTION OF THE F ESENTATIVE. 'S OF ALL MATEF	PACKAGE	l.	OWNER I MORE TH REBALAN	RESE IAN 1 ICE TI
EQUIP A. T M	MENT HE IS PROVIDING AS SUBMITTAL DOCUMENTATION TO THE OWNER. HE CONTRACTOR SHALL PRESENT COMPLETE PERFORMANCE INFORMATION ON EACH PIECE OF EQU ANNER RESEMBLING THAT ON THE CONTRACT DOCUMENTS. INCOMPLETE INFORMATION WILL NOT BE R	IIPMENT ORGANIZ EVIEWED.		18. AC A. B.	CESS STABILIZI REMOVE	
B. E. M C. T	EET THE SPECIFICATIONS AND CAPACITIES CALLED FOR IN THESE DOCUMENTS. HE CONTRACTOR SHALL RECEIVE WRITTEN APPROVAL FROM THE OWNER OR HIS AUTHORIZED REF IRCHASE AND INSTALLATION OF SAID MATERIAL AND FOLIIPMENT	PRESENTATIVE P	RIOR TO	C.	ADD PRO	TECT
8. RECO A. T	RD DRAWINGS AND MAINTENANCE MANUALS: HE CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON THE JOB AND SHALL, AS CONSTRUCTIONY CHANGES WHERE CONSTRUCTION IS DIFFERENT FROM THE DESIGN DOCUMENTS. AT THE TIME OF	N PROGRESSES, F FINAL INSPECTI	RECORD ON. ONE			
S O B. A	ET OF RECORD DRAWINGS IN ADDITION TO ONE SET OF APPROVED SUBMITTAL DOCUMENTS SHALL B WNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST ASSOCIATED WITH THESE DOCUMENTS. I THE TIME OF FINAL INSPECTION THE CONTRACTOR SHALL TURN OVER TO THE OWNER AN OPERA	TION AND MAINT				
М С С. Т	ANUAL ENCOMPASSING ALL OF THE MECHANICAL COMPONENTS INSTALLED. THE MANUAL SHALL APACITY OF THE EQUIPMENT INSTALLED, WIRING DIAGRAMS, CONTROL SEQUENCES. HE MANUAL SHALL ALSO INCLUDE NAME, ADDRESS, AND TELEPHONE NUMBER OF SERVICE ORGANIZATION.	ONS. THE MANUA	IFY THE			
C 9. PIPING A. A R T	LEARLY IDENTIFY SERVICE REQUIREMENTS, WARRANTY, AND RECOMMENDED SERVICE INTERVALS. PIPING MATERIALS SHALL BE IN ACCORDANCE WITH THE PIPE SUPPORT TABLE THAT APPEARS IN THES LL PIPE SHALL BE ADEQUATELY BRACED AND SUPPORTED. PIPE HANGERS AND SUPPORTS SI EQUIREMENTS OF MSS SP-58. SUPPORT SPANS SHALL NOT EXCEED THOSE NOTED IN THE PIPE SUPPORTS HESE DOCUMENTS. IN ADDITION TO THE MAXIMUM ALLOWABLE SPACING BETWEEN SUPPORTS, HORIZ	SE DOCUMENTS. HALL CONFORM ORT TABLE APPE/ ZONTAL PIPING S	TO THE ARING IN HALL BE			
B. O C. W	JPPORTED AT TERMINATION OF ALL HORIZONTAL RUNS OR BRANCHES, AND AT EACH CHANGE OF DIREC PEN PIPE ENDS SHALL BE COVERED AND FREE OF DEBRIS DURING CONSTRUCTION. HERE THE SIZE OF REFRIGERANT PIPE IS NOT NOTED ON THE DRAWINGS, THE PIPE SHALL BE SIZED	TION. BY THE CONTRA				Γ
D. R	STALLATION. THIS SHALL INCLUDE ACCUMULATORS AND/OR SOLENOID VALVES, IF REQUIRED. EFRIGERANT PIPE AND ASSOCIATED AIR CONDITIONING EQUIPMENT SHALL BE EVACUATED AND CHARG HE EQUIPMENT MANUFACTURER'S STANDARDS.	ED IN ACCORDAN	CE WITH			
E. R IN C	EFRIGERANT PIPING SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE WITH HYDRA ZORB CUSHIG SULATION AT PIPE SUPPORTS SHALL BE COVERED WITH A PVC SLEEVE OR OTHER SUITABLE MAT RUSHING OF THE INSULATION.	ONED CLAMPS OF FERIAL TO PREVI	R EQUAL. ENT THE			
F. R G. P 10. INSUL	EFRIGERANT SUCTION PIPE SHALL BE INSULATED WITH 1" THICK ELASTOMERIC FOAM INSULATION. /C PIPING SHALL NOT BE INSTALLED IN ANY AREA USED AS A SUPPLY OR RETURN AIR PLENUM. ATION: PIPE AND DUCTWORK SHALL BE INSULATED IN ACCORDANCE WITH THE PIPE SUPPORT TAB	LE AND THE DU	CTWORK			SII
A. IN A. IN A	ON OF THESE SPECIFICATIONS. SULATION SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RA CCORDANCE WITH UL 723. BERGLASS PIPE INSULATION SHALL BE FOLIAL TO CERTAINTEED SNAP ON AS USSI	ATING OF 50 OR	LESS IN		L	_ <u>0</u> _
C. FI D. FI	BERGLASS FIFE INSULATION SHALL BE EQUAL TO CERTAINTEED SNAF ON ASJISSE. BERGLASS INSULATION ON PIPE FITTINGS SHALL BE MOLDED FIBERGLASS FITTING COVER WITH WHITE P BERGLASS DUCTWRAP SHALL HAVE A FACTORY APPLIED FSK OR FOIL VAPOR BARRIER AND EQUAL TO C HICKNESS SHALL BE AS DESCRIBED UNDER DUCTWORK.	VC JACKET. DWENS CORNING	TYPE 75.		1	NOT
E. Fl A T	BERGLASS DUCT LINER SHALL BE EQUAL TO CERTAINTEED TOUGHGARD R. LINER SHALL BE TREATED W NTI-MICROBIAL AGENT AND SHALL NOT SUPPORT FUNGAL OR BACTERIAL GROWTH IN ACCORDANCE W EST METHODS. LINER SHALL BE CLEANABLE IN ACCORDANCE WITH NAIMA METHODS. THE LINEF	VITH AN EPA RECO WITH ASTM G 21 A R SHALL HAVE A	DGNIZED AND G22 A TOUGH			
F. IN	OMPOSITE SURFACE AND SHALL BE SUITABLE FOR VELOCITIES UP TO 6000 FPM. UNLESS NOTED OTHEI NER SHALL BE 1" THICK. SULATED PIPE SHALL BE PROTECTED FROM DAMAGE OR COMPRESSION FROM HANGERS AT THE POINT	OF SUPPORT USI	NG HALF			
G. A V	LEEVE SHIELDS EQUAL TO GRINNEL FIG. 167 OR THE USE OF PRE-INSULATED PIPE SADDLES EQUAL TO AN RMAFLEX INSULATION SHALL BE EQUAL TO ARMSTRONG ARMAFLEX ELASTOMERIC FOAM INSULATION / ITH THE MANUFACTURER'S RECOMMENDATIONS. OUTSIDE INSTALLATIONS SHALL RECEIVE TWO COATS	NVIL 260 ISS. APPLIED IN ACCC OF WB ARMAFLE	RDANCE X FINISH.			
11. NEW D A. U H	UCTWORK: NLESS OTHERWISE NOTED ALL DUCT CONSTRUCTION AND SUPPORTS SHALL CONFORM TO THE REC /AC DUCT CONSTRUCTION STANDARDS, LATEST EDITION, UL 181, AND LOCAL CODES.	QUIREMENTS OF	SMACNA			
B. S M M	JPPLY AIR, OUTSIDE AIR, AND RETURN AIR DUCTWORK TO AIR HANDLING EQUIPMENT SHALL BE CONST 'ITH THE REQUIREMENTS OF DUCT RATED FOR 1" W.G. DUCT MATERIAL SHALL BE LOCK FORMING QUA INIMUM 24 GAGE.	ALITY GALVANIZE	RDANCE D STEEL,			
S E	HALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 181A OR 181B-M. DUCT CONNECTIONS TO FLANG QUIPMENT SHALL BE MECHANICALLY FASTENED AND SEALED. UNLISTED DUCT TAPE IS NOT PERMI EALANT.	GES ON AIR DISTR ITTED TO BE USI	RIBUTION ED AS A			
D. D A D	JCTWORK SHALL BE INSULATED AS DESCRIBED BELOW. INSULATION MATERIALS INSIDE THE BUILDIN RSTREAM, INCLUDING LININGS, COVERINGS, AND ADHESIVES, SHALL HAVE A FLAME SPREAD RATING NO EVELOPED RATING NOT OVER 50.	NG ENVELOPE OF DT OVER 25 AND A	R IN THE A SMOKE			
E.S D S	JPPLY AND RETURN DUCT INSTALLED IN UNINSULATED ATTIC AND CRAWL SPACE AREAS SHALL BE INSU JCTWRAP WITH AN INSTALLED THICKNESS OF 2 1/8" (R8 MIN). OUTSIDE AIR DUCT AND SUPPLY METAL JSPENDED CEILINGS SHALL BE EXTERNALLY INSULATED WITH 1 1/2" THICK FIBERGLASS DUCT WRAP. T	JLATED WITH FIBE DUCT INSTALLEI HE INSULATION S	ERGLASS D ABOVE SHALL BE			
F. D	STALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. JCT SIZES NOTED ON THE DRAWINGS ARE BASED ON "FREE FLOW AREA". SHEET METAL SIZES WILL E NER IS SPECIFIED TO ACCOMMODATE THE LINER.	BE LARGER WHE	RE DUCT			
G.M H.IN C	ITERED SQUARE ELBOWS SHALL BE EQUIPPED WITH SINGLE THICKNESS TURNING VANES. SULATED FLEXIBLE DUCTWORK SHALL BE CONSTRUCTED OF AN INNER AIR BARRIER OVER A COILED (OVERED WITH INSULATION EQUAL TO R-5 AND A FOIL OR VAPOR BARRIER. INSULATED FLEXIBLE DUCTW	STEEL WIRE STR				
N E	ITH 1.5" WIDE GALVANIZED STRAPS OR 2" WIDE FABRIC STRIPS. SPACING INTERVALS FOR FLEXIBLE DUCK (CEED 64" AND DROOP BETWEEN SUPPORTS SHALL NOT EXCEED 2.0". FLEXIBLE DUCT SHALL BE ROUTE REA IS MAINTAINED AND TURNS HAVE A MINIMUM RADIUS OF 2 TIMES THE DUCT DIAMETER.	CT SHALL BE SOF CT SUPPORTS SH ED SUCH THAT FU	ALL NOT LL FLOW			
I. R M	ectangular dampers noted on the drawings as "MBD" shall be opposed blade balancing da D-35. Round dampers noted as "MBD" shall be equal to ruskin CDRS25. MBD dampers sh DCKING MANUAL OPERATOR.	MPERS EQUAL TO HALL BE INSTALL) RUSKIN ED WITH			
J. FI N K. FI	EXIBLE DUCT TAKE-OFFS FROM RECTANGULAR DUCT SHALL BE SPIN IN TAPS WITH SINGLE BLADE DA DT HAVE SCOOPS. EXIBLE DUCT CONNECTORS SHALL BE EQUAL TO VENTFABRICS "VENTGLAS" FOR INTERIO	AMPER. TAKE-OF	F SHALL			
H M	ANDLERS AND ROOF TOP AIR CONDITIONING UNITS. THE FLEXIBLE CONNECTOR SHALL BE INSTALLED AT THE INLET A ANUFACTURER'S RECOMMENDATIONS. JCTS SHALL BE ADEQUATELY SUPPORTED. WHERE METAL DUCTS ARE SUPPORTED WITH METAL STRAF	N ACCORDANCE V				
A W G	MINIMUM OF 1" WIDE AND OF THE SAME GAGE OR HEAVIER THAN THE DUCT SUPPORTED. METAL DUC ITH APPROVED HANGERS AT INTERVALS NOT EXCEEDING 10 FEET. FLEXIBLE DUCT SHALL BE SUF ALVANIZED STRAPS OR 2" WIDE FABRIC STRIPS. SPACING INTERVALS FOR FLEXIBLE DUCT	CT SHALL BE SUF PPORTED WITH 1 SUPPORTS SHA	PORTED .5" WIDE ALL NOT			
E 12. EQUIP A. L	(CEED 64". MAXIMUM PERMISSIBLE SAG IS ½" PER FOOT. MENT MISCELLANEOUS: ABELS: ALL EQUIPMENT SHALL HAVE A PERMANENTLY AFFIXED LABEL FROM THE MANUFACTURER. LA	ABEL SHALL INCL	UDE THE			
E R B. R	QUIPMENT'S ELECTRICAL REQUIREMENTS, MANUFACTURER AND MODEL NUMBER OF THE EQUIPMENT, F ATING, AND A SEAL INDICATING APPROVAL BY AN APPROVED TESTING AGENCY. EFRIGERANT ACCESS PORTS SHALL BE FITTED WITH LOCKING-TYPE TAMPER RESISTANT CAPS OF	HEATING FUEL INF R SHALL OTHER	PUT, BTU WISE BE			
	Γ					
			E	BASIS OF D	ESIGN	
		MARK	MANUFACTURER	INDOOI	R UNIT	0
		GF/CC-01/CU-01	TRANE	TUD100/	TXC065	2
		GF/CC-02/CU-02 GF/CC-03/CU-03	TRANE TRANE	TUD060/ TUD100/	TXC024 TXC065	2.
,		GF/CC-04/CU-04 GF/CC-05/CU-05	TRANE TRANE	TUD100/ TUD100/	TXC065	2
		GF/CC-06/CU-06 GF/CC-07/CU-07	TRANE TRANE	TUD080/	/TXC061 TXC037	2 ⁻
		GF/CC-08/CU-08	TRANE	TUD080/	/TXC061	2
	A B C	FURNISH AND I VERIFY AND TE PERFORM FULI	NSTALL NEW THERN EST POWER WIRING, L SERVICE TO HVAC	IOSTATS A OVERCUR UNITS AS F	T INDICATI RENT PRO FOLLOWS:	ED L()TEC]
		 CLEAN AND R BRUSH CLEAN CLEAN AND F 	INSE EVAPORATOR N AND VACUUM EVAI LUSH CONDENSATE	AND COND PORATOR A PANS AND	ENSER CO AND COND DRAIN LIN)ILS)ENSE VES

6. BRUSH AND VACUUM CLEAN GAS-FIRED BURNERS, HEAT EXCHANGERS AND FLUES. 7. INSTALL NEW FLUES, ROOF JACKS, AND FLUE CAPS.

FULLY CHARGED WITH PROPER REFRIGERANT.

TROL COMPONENTS AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE. ITROL WIRING INSTALLED EXTERIOR TO THE BUILDING ENVELOPE SHALL BE INSTALLED IN WEATHER TIGHT GALVANIZED ITROL WIRING INSTALLED INSIDE THE BUILDING WITHIN EIGHT FEET OF FINISHED FLOOR SHALL BE INSTALLED IN CONDUIT OR ITED INSIDE WALLS. TROL WIRING INSTALLED IN AIR PLENUMS SHALL HAVE INSULATION SUITABLE FOR PLENUM INSTALLATION IN ACCORDANCE I NFPA REQUIREMENTS. L MOUNTED THERMOSTATS OR SENSORS SHALL BE INSTALLED 4' 0" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED ON WINGS. LOCATION OF WALL MOUNTED DEVICES SHALL BE COORDINATED WITH OTHER TRADES FOR A NEAT APPEARANCE. TRACTOR SHALL REMOVE ANY DEBRIS OR LOOSE MATERIALS FROM INSIDE THE DUCTWORK AND AIR HANDLING EQUIPMENT OR TO START-UP. TRACTOR SHALL CLEAN THE EXTERIOR OF ALL EXPOSED DUCTS. FABRICATION MARKS AND MARKINGS SHALL BE REMOVED. ITRACTOR SHALL INSTALL FILTERS WHERE CALLED FOR ON THE PLANS PRIOR TO START-UP AND CLEANING. CONTRACTOR LL REPLACE FILTERS DURING THE CLEANING PROCESS AS REQUIRED TO CLEAN AND PROTECT THE EQUIPMENT AND SYSTEM. ERS AT THE TIME OF TURNOVER OF THE SYSTEM TO THE OWNER SHALL BE NEW AND CLEAN.

NEW PIPING SHALL BE TESTED AT 1.5 TIMES NORMAL WORKING PRESSURE. PIPES MAY BE TESTED HYDROSTATICALLY, WITH IPRESSED AIR, OR WITH NITROGEN. CAST IRON AND PLASTIC PIPING SHALL BE TESTED HYDROSTATICALLY. REFRIGERANT NG SHALL BE TESTED WITH DRY NITROGEN. ALL TESTING SHALL BE DONE IN ACCORDANCE WITH CODE REQUIREMENTS. ALL KS SHALL BE REPAIRED PRIOR TO PUTTING THE PIPING IN SERVICE. IPMENT SHALL BE CYCLED THROUGH ALL HEATING, COOLING, AND VENTILATION CYCLES TO INSURE PROPER OPERATION OF COMPONENTS AND CONTROLS PRIOR TO TEST AND BALANCE. RED OR FIELD DETERMINED SET POINTS SHALL BE PERMANENTLY RECORDED ON CONTROL DRAWINGS, AT CONTROL DEVICES, N DIGITAL PROGRAMMING COMMENTS. D BALANCE:

UAL AIRFLOW VALUES SHALL BE SET TO WITHIN 10% OF THE DESIGN VALUES NOTED ON THE DRAWINGS. FINAL SUPPLY, EXHAUST, AND RETURN AIRFLOW SHALL BE TESTED, ADJUSTED, BALANCED, AND RECORDED IN ACCORDANCE THE REQUIREMENTS OF CHAPTERS 4 AND 6 OF THE IMC AND PROCEDURES OF THE NEBB OR AABC. THIS SHALL INCLUDE (IMUM AND MINIMUM VALUES WHERE NOTED ON THE DRAWINGS. ORD VOLTAGE, AMPERAGE, AND TOTAL AIRFLOW ON ALL AIR CONDITIONING AND HEATING EQUIPMENT. ADJUST FAN SPEED AS UIRED TO MEET MINIMUM AIRFLOW REQUIREMENTS. ANCE SCOPE SHALL INCLUDE ASSISTING THE MECHANICAL AND CONTROLS CONTRACTORS IN SETTING THE MINIMUM AND (IMUM POSITIONS ON OUTSIDE AIR DAMPER(S) TO ACHIEVE THE AIRFLOWS SPECIFIED ON THE SCHEDULE. TEST AND BALANCE PERSONNEL SHALL ENDEAVOR TO FIRST REDUCE THROTTLING LOSSES THEN FAN SPEED OR IMPELLER SHALL BE ADJUSTED TO MEET DESIGN FLOW CONDITIONS. CK AND RECORD OPERATING REFRIGERANT PRESSURES ON SPLIT SYSTEM AIR CONDITIONING EQUIPMENT OR HEAT PUMPS. ORDED DATA SHALL REPRESENT ACTUALLY MEASURED OR OBSERVED CONDITION. SET AND LOCK MEMORY STOPS. ADJUST SYSTEMS TO PLUS OR MINUS 10 PERCENT FROM FIGURES INDICATED. IVIDE BALANCE REPORT IN SOFT COVER, LETTER SIZE, 3-RING BINDER, WITH INDEX PAGE AND TABS, AND COVER ITIFICATION. INCLUDE REDUCED SCALE DRAWINGS WITH AIR OUTLETS AND EQUIPMENT IDENTIFIED TO CORRESPOND WITH A SHEETS. DATA SHEETS SHALL BE IN THE FORMAT OF THE AABC OR NEBB. IER RESERVES THE RIGHT TO HAVE BALANCE WORK SPOT-CHECKED BY AABC OR NEBB REGISTERED BALANCING FIRM. IF E THAN 10% OF THE GRILLES ARE FOUND TO DEVIATE FROM THE LEVELS NOTED IN THE REPORT THE CONTRACTOR WILL

ALANCE THE SYSTEM IN ITS ENTIRETY AT NO ADDITIONAL COST TO THE OWNER. BILIZE EXISTING ATTIC WALKBOARDS TO ALL HVAC EQUIPMENT. IOVE NON-FUNCTIONAL MATERIAL (LUMBER, STRAPS, NAILS, ETC.) LEFT FROM PREVIOUS (AND CURRENT) MODIFICATIONS TO ATTIC SPACE.

PROTECTIVE CROSSING STRUCTURE WHERE WALKWAYS CROSS DUCTWORK THAT IS TOO LOW TO CRAWL UNDER.

NOTE: PROVIDE VOLUME DAMPER AT EACH LOW PRESSURE SUPPLY, EXHAUST AND RETURN BRANCH DUCT.

DUCT BRANCH TAKEOFF FOR LOW PRESSURE DUCTWORK NO SCALE

UP TO 36" IN WIDTH LOW VELOCITY DUCTWORK ELBOWS NOT TO SCALE

	CEILING VAV GRILLE SCHEDULE									HOOD & LOUVER SCHEDULE												
				INLET	MODULE			CC							BASS OF	DESIGN		SIZE				
MARK	MFR.	MODEL NUMBER	AREA SERVED	DIAMETER (IN.)	SIZE	FRAME STYLE	DAMPER	SENS.		MAX.	COMMENTS		MARK	TYPE	MFG.	MODEL NO.	THROAT SIZE W x H	OVERALL SIZE W x H	MIN. FREE AREA SQ. FT.	CFM	ΜΑΧ. Δ Ρ	COMME
				. ,	()			LOAD	CFM	CFM			L-01	INTAKE	GREENHECK	ESD-635	16x12	18x14	0.6	530	0.12	A,B,0
CVAV-01	ACUTHERM	IF-C-12	STORAGE/IT ROOM	12	24"x24"	4-WAY	YES	4.8	50	350	A				•							
<u>Comments</u> : A. Provid	E THERMOST	AT CONTROL											A. BIRD SCR	EEN								

	VENTILATION FAN SCHEDULE												
MARK			FAN E	LEC.	COMMENTS								
MARK	AREA SERVED	ITFE	WFG	MODEL NO.	CFM	TSP	WAX SONES	CONTROL	WATTS	VOLTS	COMMENTS		
EF-01	RESTROOM 107A	CEILING MTD	GREENHECK	SP-A125	100	0.27	0.7	SWITCH	20	115/60/1	-		
EF-02	RESTROOM 105	CEILING MTD	GREENHECK	SP-A125	100	0.27	0.7	SWITCH	20	115/60/1	-		
EF-03	RESTROOM 134	CEILING MTD	GREENHECK	SP-A125	100	0.27	0.7	SWITCH	20	115/60/1	-		
EF-04	RESTROOM 128	CEILING MTD	GREENHECK	SP-A125	100	0.27	0.7	SWITCH	20	115/60/1	-		
EF-05	JAN CLOSET 122	CEILING MTD	GREENHECK	SP-A125	100	0.27	0.7	SWITCH	20	115/60/1	-		
EF-06	RESTROOM 107B	CEILING MTD	GREENHECK	SP-A125	100	0.27	0.7	SWITCH	20	115/60/1	-		
EF-07	RESTROOM 118F	CEILING MTD	GREENHECK	SP-A125	100	0.27	0.7	SWITCH	20	115/60/1	-		

	DIFFUSER, REGISTER, AND GRILLE SCHEDULE													
				DIFFUSE	R CRITERIA			REGISTE	ER AND GRILLE CRITERI		EQUAL T	0		
MARK	DUTY	MATERIAL	- NECK SIZE (In.) MODULE SIZE (In.) FRAME STYLE DAMPER				UNIT SIZE (In.)	1.) PATTERN / DEFLECTION BLADE SPACING (In.) BORDER STYLE DAMP			DAMPER	MANUFACTURER	MODEL	COMMENTS
SD-01	CEILING SUPPLY	STEEL	SEE DWG.	24x24	4-WAY	YES						NAILOR	UNI	A
SD-02	CEILING SUPPLY	STEEL	SEE DWG.	12"x12"	1-WAY	YES						NAILOR	UNI	A
RG-01	CEILING FILTER RETURN	STEEL		24x24 PERFORATED N/A SEE ARCH YES NAILOR 61FP								A,B		
RG-02	CEILING TRANSFER GRILLE	STEEL					SEE DWG.	PERFORATED	N/A	SEE ARCH	NO	NAILOR	61PR	A,C

<u>COMMENTS:</u> A. COORDINATE FACTORY FINISH WITH ARCHITECT. B. PROVIDE FILTER FRAME AND INSTALL 20"x20"x1" THICK STANDARD FILTER. C. PROVIDE SQUARE TO ROUND TRANSITION

EVICTING ODI IT OVOTEM AID HANDED OCHEDI II E

	EXISTING SPLIT STSTEW AIR HANDER SCHEDULE																			
	CAPACITY INFORMATION					COOLING COIL					HEATING @ 47°F AMBIENT			INDOOR ELECTRICAL			OUTDOOR ELECTRICAL		CTRICAL	
	AIRFLOW	, OUTSIDE AIR MINIMUM	EXTERNAL STATIC	FAN MOTOR	ENTERING AIF		LEAVING AIR TEMPERATURE		TOTAL MINIMUM	TOTAL TOTAL MINIMUM SENSIBLE	E MINIMUM INP	GAS INPUT	GAS GAS INPUT OUTPUT	VOLTS/ PHASE/		MAXIMUM OVERCURRENT	VOLTS/ PHASE/		MAXIMUM OVERCURRENT	COMMENTS
UNIT		(CFM)	(In.)	(HP)	DB (°F)	WB (°F)	DB (°F)	WB (°F)	(MBH)	(MBH)	(MBH)	(MBH)	(MBH)	HERTZ	(MCA)	(MOP)	HERTZ	(MCA)	(MOP)	
2TTB2060	1630	170	0.65	1/2	77.2	65.0	58.0	56.9	38.5	32.4	25.7	65.0	52.0	115/1	11.0	15	208/1	38.0	60	A,B,C
2TTB2024	705	85	0.40	1/2	77.5	65.5	58.0	56.9	17.7	14.1	10.6	39.0	31.2	115/1	8.0	15	208/1	11.0	15	A,B,C
2TTB2060	1425	60	0.65	1/2	76.4	64.1	58.0	56.8	19.8	18.0	12.2	65.0	52.0	115/1	11.0	15	208/1	38.0	60	A,B,C
2TTB2060	1200	260	0.65	1/2	78.5	66.8	58.0	57.0	45.0	32.7	27.4	65.0	52.0	115/1	11.0	15	208/1	38.0	60	A,B,C
2TTB2060	600	215	0.65	1/2	79.2	66.7	58.0	56.9	34.6	26.0	15.4	65.0	52.0	115/1	11.0	15	208/1	38.0	60	A,B,C
2TTB2048	1055	235	0.30	1/2	79.5	67.9	58.0	57.0	35.4	23.9	18.4	52.0	41.6	115/1	13.0	15	208/1	26.0	45	A,B,C
2TTB2036	905	110	0.75	1/2	77.7	65.5	58.0	56.9	22.4	18.1	14.7	52.0	41.6	115/1	13.0	15	208/1	21.0	35	A,B,C
2TTB2048	1055	215	0.30	1/2	79.5	67.9	58.0	57.0	33.1	22.3	17.2	52.0	41.6	115/1	13.0	15	208/1	26.0	45	A,B,C

ICATED LOCATIONS.

PROTECTION, AND DISCONNECTS.

ONDENSER FANS

4. VACUUM CLEAN CONTROL PANELS, FAN MOTORS, AND EQUIPMENT CASINGS. 5. RUN-TEST REFRIGERATION CIRCUITS AND REPAIR LEAKS. ASSURE THAT SYSTEMS ARE

MECHANICAL SYMBOLS

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PLAN NOTE DIRECTION OF AIR FLOW **RECTANGULAR DUCT & SIZE**

REFG

ROUND DUCT AND SIZE

RECT. SUPPLY DUCT TURNING UP RECT. SUPPLY DUCT TURNING DOWN RECT. RETURN DUCT TURNING UP RECT. RETURN DUCT TURNING DOWN RECT. EXHAUST DUCT TURNING UP RECT. EXHAUST DUCT TURNING DOWN FLEXIBLE DUCTWORK

90° ELBOWS HAVE TURNING VANES UNLESS NOTED OTHERWISE BUTTERFLY TYPE MANUAL VOLUME DAMPER

MANUAL OPPOSED BLADE VOLUME DAMPER

FIRE DAMPER (FD) SMOKE DAMPER (SD) FIRE/SMOKE DAMPER (FSD) HORIZONTAL PLANE FIRE OR SMOKE DAMPER

VERTICAL PLANE FIRE OR SMOKE DAMPER DUCT OR EQUIPMENT WITH FLEXIBLE CONNECTION

CEILING SUPPLY DIFFUSER

CEILING RETURN

EXHAUST DOUBLE ROOF JOISTS

ITEM TO BE REMOVED OR REPLACED CONNECTION POINT NEW TO EXISTING TERMINATION POINT OF DEMOLITION REFERENCE NUMBER - SEE ASSOCIATED NUMBER ON PLAN DRAWINGS THERMOSTAT

CO2 SENSOR

AD ADJ AFF APPROX AH or AHU C CD CFM CLG COND CTWR CTWS CU DIA DN DWG DX EF ENT EXH EXIST °F FD FL FLEX FT GPM HETO HP LVG LBS MAX MECH MFG MIN NTS OA PSI PSIG RA RD REFG REQ'D SD SF TA TG TRANS T'STAT TYP UH WB W//	ACCESS DOOR ADJUSTABLE ABOVE FINISHED FLOOR APPROXIMATELY AIR HANDLING UNIT COMMON CONDENSATE DRAIN CUBIC FEET PER MIN. CEILING CONDENSATE COOLING TOWER WATER F COOLING TOWER WATER F DOWN DRAWING DIRECT EXPANSION EXHAUST FAN ENTERING EXHAUST FAN ENTERING EXHAUST FAN ENTERING DEGREES FAHRENHEIT FIRE DAMPER FLOOR FLEXIBLE FEET GALLONS PER MIN. HIGH EFFICIENCY TAKE-OF HORSE POWER LEAVING POUNDS MAXIMUM MECHANICAL MANUFACTURER MINIMUM NOT TO SCALE OUTSIDE AIR PRESSURE PER SQUARE IN PRESSURE PER SQUARE IN PRESSURE PER SQUARE IN RETURN AIR RADIATION DAMPER REFRIGERANT REQUIRED SMOKE DETECTOR SUPPLY FAN TRANSFER GRILLE TRANSFER THERMOSTAT TYPICAL UNIT HEATER WET BULB WITH
WB	WET BULB
w/ W/O	WITH WITHOUT
VTR	VENT THRU ROOF

DESIGN CONDITIONS							
SUMMER	OUTDOOR : 96°F db / 76°F wb INDOOR: 70°F db / 50% RH						
WINTER	OUTDOOR : 21°F db / 18°F wb INDOOR: 68°F db / 50% RH						

B. STEEL C. BAROMETRIC DAMPER

PIPE SUPPORT TABLE								
PIPING MATERIAL	MAX. HORIZ. SPACING (FT)	MAX. VERTI SPACING (
STEEL, SHEDULE 10 & GREATER	12	15						
COPPER & BRASS PIPE	12	10						
COPPER & COPPER-ALLOY TUBING								
1 1/4" & <	6	10						
1 1/2" & >	10	10						
CPVC PIPE								
1" & <	3	10						
1 1/4" & >	4	10						
PEX TUBING & POLYPROPYLENE PIPE 1" & SMALLER	2'-8"	10						
PVC (*), ABS	4	10						
CAST & DUCTILE IRON	5 (**)	15						

(*) SPACING AT 80°F. SEE MANUFACTURER'S REQUIREMENTS IF TEMPERATURES ARE ABOVE 80°F. (**) HANGER IS WITHIN 18" OF EACH JOINT WITH MAXIMUM HANGER SPACING NOT TO EXCEED 5' ON 5' LENGTHS AND 10' ON 10' LENGTHS OF PIPE.

NOTES: 1. PIPES 4" AND LARGER SHALL BE RESTRAINED AT ALL CHANGES IN DIRECTION. ADDITIONAL SUPPORT SHALL BE PROVIDED AT INLET AND OUTLET OF VALVES, FILTERS, METERS, OR SIMILAR DEVICES. WHICH IMPOSE ADDITIONAL WEIGHT ON THE

PIPE. 3. BASED ON 2018 INTERNATIONAL MECHANICAL CODE. 4. AS AN ALTERNATE PEX TUBING MAY BE SUPPORTED CONTINUOUSLY USING UPONOR PEX-a PIPE SUPPORT OR EQUAL.

	MECHANICAL DRAWING LIST
M0.01	MECHANICAL COVER SHEET
M1.01	MECHANICAL DEMOLITION FLOOR PLAN
M1.02	MECHANICAL DEMOLITION ATTIC PLAN
M1.03	MECHANICAL FLOOR PLAN
M1.04	MECHANICAL ATTIC PLAN

MECHANICAL CODES & STANDARDS

CODE	DESCRIPTION
SMACNA (2005)	HVAC DUCT CONSTRUCTION STANDARDS MANUAL, THIRD EE
IBC (2018)	INTERNATIONAL BUILDING CODE
IECC (2009)	INTERNATIONAL ENERGY CONSERVATION CODE
IMC (2018)	INTERNATIONAL MECHANICAL CODE
NFPA 90A (2009)	STANDARD FOR THE INSTALLATION AIR-CONDITIONING & VENTILATING SYSTEMS

MECHANICAL COVER SHEET DATE 05/04/2021

Date

DEMOLITION NOTES:

- 1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
- 2. REMOVAL OF EXISTING MECHANICAL DUCTWORK OR EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY.
- 3. COORDINATE WITH GENERAL CONTRACTOR THE REMOVAL AND REPLACEMENT OF ALL EXISTING CEILINGS, WALLS, ETC. AS REQUIRED FOR MECHANICAL DEMOLITION WORK.
- 4. EXISTING FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
- 5. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
- 6. WHERE EXISTING DUCTWORK AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE.
- 7. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODEL BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
- 8. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE.
- 9. ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY DISPOSED.

DEMOLITION NOTES: (THIS DRAWING ONLY)

- 1. DISCONNECT AND REMOVE EXISTING SUPPLY AND RETURN GRILLES, AND ALL ASSOCIATED FITTINGS AND DAMPERS.
- 2. AIR HANDLERS LOCATED IN ATTIC SPACE TO REMAIN. THEY ARE SHOWN ON DRAWING FOR REFERENCE.

DEMOLITION LEGEND

---- TO BE REMOVED

MECHANICAL - DEMOLITION ATTIC PLAN SCALE: 3/16" = 1'-0"

DEMOLITION NOTES:

- 1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
- 2. REMOVAL OF EXISTING MECHANICAL DUCTWORK OR EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY. 3. COORDINATE WITH GENERAL CONTRACTOR THE REMOVAL AND
- REPLACEMENT OF ALL EXISTING CEILINGS, WALLS, ETC. AS REQUIRED FOR MECHANICAL DEMOLITION WORK.
- 4. EXISTING FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
- 5. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
- 6. WHERE EXISTING DUCTWORK AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE.
- 7. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODEL BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
- 8. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE.
- 9. ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY DISPOSED.

DEMOLITION KEYED NOTES:

- 1. DISCONNECT AND REMOVE ALL EXISTING FLEXIBLE DUCTS, EXISTING MAIN DUCTS INDICATED, AND ALL ASSOCIATED FITTINGS AND DAMPERS. PATCH AND SEAL MAIN DUCTWORK AS REQUIRED FOR NEW DESIGN.
- 2. REMOVE OR CAP EXISTING RETURN AIR FILTERS AND BOXES.
- 3. REMOVE EXISTING INTAKE LOUVERS AND PATCH WALL OPENINGS.
- 4. RELOCATE DUCT AS REQUIRED FOR NEW ATTIC ACCESS. SEE ARCHITECTURAL PLANS.

DEMOLITION LEGEND:

---- TO BE REMOVED

 MECHANICAL - FLOOR PLAN

 SCALE: 3/16" = 1'-0"

GENERAL NOTES:

- VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFO BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE BASED ON BEST AVAILABLE INFORMATION. CONTRACT FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS
 NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURE
- MEMBERS. 3. PROVIDE MISCELLANEOUS CUTTING, PATCHING AND F OF FINISHES, ROOF, WALLS, ETC., AS REQUIRED TO
- ACCOMMODATE THE NEW WORK.
 4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE A SMOKE BARRIERS AS REQUIRED TO MEET CODE REQ SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD V EXACT LOCATIONS, CONFIGURATION AND ROUTING OF SYSTEMS REQUIRED TO REMAIN IN OPERATION DURIN PROJECT TO PREVENT DAMAGE DURING DEMOLITION PHASING.
- REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND I THAT IS NOT REQUIRED FOR A WORKING INSTALLATIC
 COORDINATE ALL WORK WITH OTHER TRADES PRIOR INSTALLATION.
- 8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COO WITH THE G.C.
- 9. COORDINATE ROUTING OF PLUMBING, AND HVAC PIPIL DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND ST ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OF REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL T PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRA MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED RESOLVE CONFLICTS RISING FROM LACK OF COORDIN SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT A
- 10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBL BE FIRE STOPPED BY THE TRADE MAKING THE PENET REFER TO ARCHITECTURAL DRAWINGS AND SPECIFIC REQUIREMENTS.
- 11. DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRI PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL ROUTED THROUGH ELECTRICAL ROOMS, TELECOM RO ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY THAT ROOM. COORDINATE WITH E.C. PROVIDE WATER PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR REQUIRED.
- 12. COORDINATE SIZE AND LOCATION OF ACCESS DOORS CONSTRUCTION REQUIRED FOR ACCESS TO MECHAN EQUIPMENT.
- 13. ALL WORK IS TO CONFORM WITH APPLICABLE CODES STANDARDS.
- 14. COORDINATE ACCESS TO EQUIPMENT AND VALVES IN ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES. P LOCKING ACCESS DOORS FOR INSTALLATION AS REQ
- SERVICE CONCEALED DAMPERS, VALVES AND EQUIPM 15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICAT REFER TO SPECIFICATIONS ON MECHANICAL COVER S FURTHER INFORMATION.

KEYED NOTES:

- 1. AIR HANDLING UNIT INSTALLED IN ATTIC. SHOWN ON FOR REFERENCE.
- 2. INSTALL ALL FLEX TRANSFER DUCTS IN CEILING SPAC ATTIC MEZZANINE.

MECHANICAL NOTES:

1. UNDERCUT ALL INTERIOR DOORS BY 3/4" IN ORDER PROVIDE AN ADEQUATE RETURN AIR PATHWAY.

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- 1. VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS. 2. NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS.
- 3. PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS, ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- 4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS, CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING. 6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING
- THAT IS NOT REQUIRED FOR A WORKING INSTALLATION. 7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- 8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
- 9. COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS RISING FROM LACK OF COORDINATION
- SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT. 10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
- 11.DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH E.C. PROVIDE WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED.
- 12. COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL EQUIPMENT.
- 13. ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS. 14. COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED
- ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND EQUIPMENT. 15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON MECHANICAL COVER SHEET FOR

KEYED NOTES: 🛞 1. SEAL OPENINGS IN EXISTING DUCTWORK REMAINING FROM

DEMOLITION

FURTHER INFORMATION.

2. LOW ROOF IN THIS AREA OF ATTIC PLAN. DUCTWORK DRAWN WAS BASED ON THE DUCT SIZES SHOWN ON EXISTING PLANS. IF DUCTWORK DOES NOT COMFORTABLY FIT IN ATTIC SPACE, PENETRATE ATTIC MEZZANINE AND RUN DUCT IN CEILING SPACE.

DATE 05/04/2021

PLUMBING SPECIFICATIONS

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL PLUMBING CODE, THE 2009 INTERNATIONAL ENERGY CONSERVATION CODE, THE 2018 INTERNATIONAL BUILDING CODE AND FIRE CODES, AND LOCAL APPLICABLE ORDINANCES. 2. THESE COMMON PROVISIONS APPLY TO ALL PLUMBING WORK COVERED IN THIS CONTRACT.
- A. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, MACHINERY, SUPERVISION, MANAGEMENT, AND ALL OTHER ITEMS NECESSARY FOR THE COMPLETE PLUMBING SYSTEM. THE ENTIRE PLUMBING SYSTEMS SHALL BE INSTALLED, STARTED, TESTED, ADJUSTED AND TURNED OVER TO THE OWNER IN PROPER OPERATING CONDITION. B. ALL FIXTURES AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. WHERE
- THIS MAY CONFLICT WITH CODE REQUIREMENTS THE CODES SHALL HAVE PRECEDENCE. C. THE CONTRACTOR AND/OR THE APPROPRIATE SUBCONTRACTOR SHALL CONCURRENTLY HOLD ALL REQUIRED LICENSES TO PERFORM THE WORK SHOWN AND SPECIFIED ON THESE DRAWINGS. D. UNDER NO CIRCUMSTANCES IS THE CONTRACTOR TO INSTALL ANY MATERIAL OR EQUIPMENT, FOREIGN OR DOMESTIC, WITH ASBESTOS CONTAINING MATERIAL.
- 3. DIMENSIONS: DRAWINGS SHOULD BE INTERPRETED AS GENERAL LAYOUT AND ARRANGEMENT DRAWINGS. THE DRAWINGS ARE NOT INTENDED TO SHOW COMPLETE OR PRECISE MEASUREMENTS AND DETAILS OF THE BUILDING AND INSTALLATION IN EVERY RESPECT. AND THEY DO NOT INCLUDE ALL DETAILS OF MANUFACTURED EQUIPMENT, CONSTRUCTION, PIPING, DUCTWORK, ETC. MEASUREMENT FIGURES WRITTEN UPON THE DRAWINGS INDICATING DIMENSIONS SHALL BE USED INSTEAD OF SCALED MEASUREMENT. NO SCALE MEASUREMENT TAKEN FROM A DRAWING SHALL BE RELIED UPON AS A DIMENSION FOR INSTALLATION PURPOSES. EXACT LOCATIONS AND MEASUREMENTS ARE TO BE DEFINED IN THE FIELD, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR ACCURACY AND USE IN CONSTRUCTION OF THE WORK.
- 4. INTERFERENCES: THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ALL OTHER TRADES IN ORDER TO ELIMINATE INTERFERENCES. HE SHALL EXAMINE IN ADVANCE THE LOCATION OF ELECTRICAL SYSTEMS, DUCTS, PIPING, STRUCTURES, CONDUITS, AND OTHER EQUIPMENT AND COMPONENTS TO BE INSTALLED, AND PROPERLY COORDINATE THE INSTALLATION OF MECHANICAL WORK TO AVOID INTERFERENCES. THE ENGINEERS HAVE CONSIDERED EXISTING INTERFERENCES IN MAKING THE DRAWINGS, BUT IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MODIFY, OFFSET, OR OTHERWISE ACCOMMODATE ALL EQUIPMENT TO THE STRUCTURE, UTILITIES AND OTHER EQUIPMENT.
- 5. UTILITIES: THE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR REGARDING ACCESS TO EXISTING UTILITIES PRIOR TO THE START OF WORK.
- 6. SUBSTITUTIONS: A. THE MATERIALS, PRODUCTS, AND EQUIPMENT DESCRIBED IN THE DOCUMENTS ESTABLISH A STANDARD OF REQUIRED FUNCTION, DIMENSION, APPEARANCE, SERVICEABILITY, AVAILABILITY OF SPARE PARTS AND QUALITY TO BE MET BY ANY PROPOSED SUBSTITUTION.
- 7. RECORD DRAWINGS: THE CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON THE JOB AND SHALL, AS CONSTRUCTION PROGRESSES, RECORD ANY CHANGES WHERE CONSTRUCTION IS DIFFERENT FROM DESIGN DOCUMENTS. AT THE TIME OF FINAL INSPECTION, ONE SET OF RECORD DRAWINGS, IN ADDITION TO ONE SET OF APPROVED SUBMITTAL DOCUMENTS SHALL BE TURNED OVER TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST ASSOCIATED WITH THESE DOCUMENTS.
- 8. PIPING: PIPING MATERIALS SHALL BE IN ACCORDANCE WITH THE PIPING & INSULATION SCHEDULE THAT APPEARS ELSEWHERE IN THESE DOCUMENTS. A. ALL PIPE SHALL BE ADEQUATELY BRACED AND SUPPORTED. PIPE SUPPORTS SHALL CONFORM TO THE REQUIREMENTS OF MSS SP-58. SUPPORT SPANS SHALL NOT EXCEED THOSE NOTED IN THE PIPE SUPPORT TABLE LOCATED ELSEWHERE IN THESE DOCUMENTS. IN ADDITION TO THE MAXIMUM ALLOWABLE SPACING BETWEEN SUPPORTS, PIPING SHALL BE SUPPORTED AT
- TERMINATION OF ALL HORIZONTAL RUNS OR BRANCHES, AND AT EACH CHANGE OF DIRECTION. SWAY BRACING SHALL BE PROVIDED AT EACH CHANGE OF DIRECTION FOR PIPE 4-INCHES AND LARGER. B. PIPE SHALL BE SEISMICALLY SUPPORTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE.
- C. ALL MATERIAL USED IN POTABLE WATER SUPPLY SHALL BE LISTED FOR SUCH APPLICATIONS BY THE INTERNATIONAL PLUMBING CODE IN FORCE AS OF THE TIME OF ISSUE OF THESE DRAWINGS. D. UNDERGROUND STEEL PIPE SHALL HAVE A PROTECTIVE COAL-TAR EPOXY COATING APPLIED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF AWWA SPECIFICATION C203.
- E. STEEL PIPE INSTALLED EXTERIOR TO THE BUILDING ENVELOPE SHALL BE PAINTED WITH TWO COATS OF WEATHER RESISTANT ENAMEL. COLOR TO MATCH BUILDING OR GROUT. F. DIELECTRIC UNIONS SHALL BE USED TO JOIN COPPER PIPE TO STEEL PIPE.
- G. SOLDERED/BRAZED POTABLE WATER PIPING SHALL BE JOINED WITH LEAD FREE 95-5 TIN ANTIMONY SOLDER. H. THE CONTRACTOR SHALL INSURE THAT ONLY CHEMICALLY COMPATIBLE PRODUCTS COME IN CONTACT WITH CPVC PIPE. ONLY PRODUCTS BEARING THE LUBRIZOL FGG/BM/CZ SYSTEM COMPATIBLE LOGO OR OTHERWISE APPROVED BY THE CPVC PIPE MANUFACTURER SHALL COME IN CONTACT WITH CPVC PIPE.
- I. OPEN PIPE ENDS SHALL BE COVERED AND PIPING SHALL BE FREE OF DEBRIS DURING CONSTRUCTION. J. UNLESS NOTED OTHERWISE ALL PENETRATIONS OF EXTERIOR WALL, FLOOR, AND ROOF STRUCTURES WITH DUCTWORK. PIPING, OR RELATED COMPONENTS SHALL BE SEALED WEATHER TIGHT WITH APPROPRIATE FLASHING AND/OR SEALING MATERIALS. UNLESS NOTED OTHERWISE, PENETRATIONS OF ROOF STRUCTURES SHALL BE MADE IN ACCORDANCE WITH THE ROOF MANUFACTURERS RECOMMENDATIONS. UNLESS NOTED OTHERWISE PENETRATIONS OF EXTERIOR WALLS SHALL BE SEALED WITH ONE PART URETHANE SEALANT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS; COLOR SHALL BE TO MATCH BUILDING FINISHES.
- K. ALL PIPE SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE OR INTERNATIONAL FUEL GAS CODE. L. PENETRATIONS OF CONCRETE FLOOR SLABS BY METALLIC PIPE SHALL BE PROTECTED WITH BITUMASTIC WRAP OR SLEEVES OF ARMAFLEX INSULATION. PENETRATION OF CONCRETE FLOOR SLABS BY PVC OR CPVC PIPE SHALL BE PROTECTED WITH A SLEEVE OF NOMACO IMCOLOCK INSULATION. PENETRATION OF CONCRETE FLOOR SLABS BY PEX PIPE SHALL BE ROUTED
- THROUGH A CPVC SLEEVE. M. THE ANNULAR SPACE BETWEEN PIPE AND WALL OR FLOOR PENETRATIONS SHALL BE SEALED. WHERE PIPES PASS THROUGH FIRE OR SMOKE RATED BUILDING COMPONENTS, THE PIPE ANNULUS SHALL BE SEALED WITH A UL RATED FIRE STOPPING MATERIAL. THE MATERIAL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS BASED ON PIPE AND WALL CONSTRUCTION MATERIALS. SEALING MATERIALS SHALL BE CHEMICALLY COMPATIBLE WITH THE
- PIPE. SUBMIT CHEMICAL COMPATIBILITY FOR FIRE SEALS TO BE USED ON CPCV, PVC, AND PEX PIPE. N. CREWS INSTALLING CPVC PIPE SHALL HAVE BEEN TRAINED BY THE PIPE MANUFACTURER WITHIN THE 24 MONTHS PREVIOUS TO STARTING THE PROJECT AND SHALL BE CAPABLE OF PROVIDING DOCUMENTATION OF THE TRAINING UPON REQUEST. O. PIPE AND PIPE FITTINGS MANUFACTURED IN CHINA ARE NOT ACCEPTABLE AND SHALL NOT BE INSTALLED.
- P. PLASTIC PIPE INSTALLED IN WOOD FRAME STRUCTURES SHALL BE PROTECTED WITH NAIL SHIELDS. PEX PIPE SHALL BE PROTECTED FROM METAL STUDS WITH PLASTIC GROMMETS. 9. FIXTURES:
- A. PLUMBING FIXTURES SHALL BE PROVIDED AS SPECIFIED IN THE PLUMBING FIXTURE TABLE THAT APPEARS ELSEWHERE IN THESE DOCUMENTS. ALL PLUMBING FIXTURES SHALL BE NEATLY CAULKED WITH SILICONE OR MILDEW RESISTANT ACRYLIC LATEX CAULKING COMPOUND WHERE THE FIXTURE MEETS THE WALL. FIXTURE LOCATIONS SHOWN ON THE PLUMBING DRAWINGS ARE APPROXIMATE - SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS. B. WATER FAUCETS SHALL HAVE A LEAD CONTENT LESS THAN 0.2% IN ACCORDANCE WITH EPA REGULATIONS.
- C. ISOLATION VALVES SHALL BE PROVIDED FOR ALL PLUMBING FIXTURES. CHROME PLATED ANGLE STOP VALVES SHALL BE INSTALLED TO SERVE LAVATORIES AND TANK TYPE TOILETS. CONNECTIONS BETWEEN ANGLE STOP VALVES AND THE FIXTURE OR FAUCET SHALL BE WITH STAINLESS STEEL BRAID CONNECTION HOSES. THE USE OF PEX TUBING CONNECTIONS IS FXPRESSLY FORBIDDEN. D. WATER HEATERS SHALL BE EQUIPPED WITH HEAT TRAPS AND COMPLY WITH THE CURRENT ENERGY EFFICIENCY
- REQUIREMENTS. E. WATER HEATER SHALL BE EQUIPPED WITH ANTI-SIPHON DEVICES. F. WATER HEATERS SHALL BE EQUIPPED WITH A RELIEF DEVICE CONFORMING TO ANSI Z21.22. RELIEF VALVE DISCHARGE SHALL TERMINATE IN A SAFE LOCATION IN ACCORDANCE WITH CODE REQUIREMENTS. THE USE OF PVC PIPE FOR RELIEF VALVE
- DISCHARGE IS NOT ACCEPTABLE. 10. PLUMBING: A. PLUMBING PIPING SHALL BE IN ACCORDANCE WITH THE PIPING & INSULATION SCHEDULE THAT APPEARS ELSEWHERE IN THESE
- DOCUMENTS, AND SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES. B. ESCUTCHEON PLATES SHALL BE INSTALLED AT THE PENETRATION OF ALL FINISHED WALLS. C. DRAINAGE AND VENT TESTING SHALL BE BY THE WATER TEST OR AIR TEST METHOD AS DEFINED BY CODE. D. WATER SUPPLY SYSTEM TEST SHALL BE BY THE WATER PRESSURE OR AIR PRESSURE METHOD AS DEFINED BY CODE.
- E. FORCED SEWER SYSTEMS AND STORM DRAINAGE SYSTEMS, IF REQUIRED ON THIS PROJECT, SHALL BE TESTED AS DEFINED BY CODE. F. THE POTABLE WATER SYSTEM SHALL BE DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE CURRENT INTERNATIONAL
- PLUMBING CODE, OR CURRENT GOVERNING GOVERNMENT AGENCY, WHICHEVER IS MORE STRINGENT, AND AWWA STANDARDS, PRIOR TO BEING TURNED OVER TO THE OWNER. G. PVC PIPE SHALL NOT BE INSTALLED IN ANY AREA USED AS A SUPPLY OR RETURN AIR PLENUM. NO-HUB DUCTILE IRON PIPE SHALL BE USED FOR SANITARY SEWER AND VENT PIPE IN PLENUM AREAS. (SEE PIPE SERVICE TABLE.) H. HORIZONTAL SANITARY SEWER PIPING 3" AND LARGER INSTALLED INSIDE THE BUILDING SHALL HAVE A SLOPE OF 1/8" PER LINEAR FOOT OF RUN. PIPE 2-1/2" AND SMALLER SHALL HAVE A MINIMUM SLOPE OF 1/4" PER LINEAR FOOT OF RUN, UNLESS
- SPECIFIED OTHERWISE ON THE DRAWINGS. I. A PURPLE PRIMER CONFORMING TO ASTM F 656 SHALL BE USED TO PRIME PVC FOR SOLVENT.
- 11. INSULATION: PIPE SHALL BE INSULATED IN ACCORDANCE WITH THE PIPING & INSULATION SCHEDULE THAT APPEARS ELSEWHERE ON THESE DOCUMENTS. A. INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 50 OR LESS IN ACCORDANCE WITH UL 723.
- B. PIPE INSULATION SHALL BE EQUAL TO AP ARMAFLEX. C. INSULATED PIPE SHALL BE PROTECTED FROM DAMAGE OR COMPRESSION FROM HANGERS AT THE POINT OF SUPPORT USING ARMAFIX PIPE HANGER INSULATION OR HALF SLEEVE SHIELDS EQUAL TO GRINNEL FIG. 167.
- 12. TRENCHING AND BACKFILL: A. GRADE TRENCH BOTTOMS TO PROVIDE A SMOOTH STABLE FOUNDATION, FREE FROM ROCK. THE WIDTH OF THE TRENCH SHALL BE SUFFICIENT TO ALLOW THOROUGH COMPACTING OF THE BACKFILL UNDER AND AROUND THE PIPE. WHERE ROCK IS ENCOUNTERED, THE ROCK SHALL BE REMOVED TO A DEPTH BELOW GRADE OF AT LEAST 6 INCHES (6"), AND THE TRENCH SHALL BE REFILLED TO GRADE WITH EARTH, SAND, GRAVEL, OR OTHER SUITABLE MATERIAL.
- B. AT EACH PIPE JOINT DIG BELL HOLES TO RELIEVE THE BELL OF THE PIPE OF ALL LOADS, AND TO ENSURE CONTINUOUS BEARING OF THE PIPE BARREL ON THE FOUNDATION. THE TRENCH SHALL BE BACKFILLED AROUND THE BARREL OF THE PIPE WITH FINE MATERIALS, FREE, FROM LARGE STONES DEPOSITED IN LEVEL LAYERS NO MORE THAN 6 INCHES (6") IN DEPTH, EACH LAYER TO BE THOROUGHLY TAMPED AND COMPACTED BEFORE THE NEXT LAYER IS DEPOSITED. C. INSTALLATION OF UNDERGROUND PVC PIPE SHALL COMPLY WITH ASTM D2321 UNDERGROUND INSTALLATION OF
- THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS. THE SPACE BETWEEN THE PIPE AND TRENCH WALL MUST BE WIDER THAN THE COMPACTION EQUIPMENT USED IN THE COMPACTION OF THE BACKFILL. MINIMUM WIDTH SHALL BE NOT LESS THAN 16 INCHES. . PROVIDE A MINIMUM OF 4 INCHES OF BEDDING UNLESS ROCK IS ENCOUNTERED, IN WHICH CASE A MINIMUM OF 6 INCHES OF BEDDING SHALL BE USED. BLOCKING SHALL NOT BE USED TO CHANGE PIPE GRADE OR TO INTERMITTENTLY SUPPORT PIPE OVER LOW SECTIONS IN THE TRENCH. THE MINIMUM DEPTH OF COVER SHALL BE 24" UNDER TRAFFIC AREAS OR IN ACCORDANCE WITH SECTION 7.6 IN ASTM D 2321 - WHICHEVER IS GREATER. D. THE PVC PIPE SHALL BE SURROUNDED WITH AN AGGREGATE MATERIAL WHICH IS EASILY WORKED AROUND THE SIDES OF THE
- PIPE. BACKFILLING SHALL BE PERFORMED IN LAYERS OF 6 INCHES WITH EACH LAYER BEING SUFFICIENTLY COMPACTED TO 85% TO 95% COMPACTION. THE TRENCH SHALL BE COMPLETELY FILLED. THE BACKFILL SHALL BE PLACED AND SPREAD IN UNIFORM LAYERS. LARGE ROCKS, STONES, FROZEN CLODS, OR OTHER LARGE DEBRIS SHALL BE REMOVED. STONE BACKFILL SHALL BE ABLE TO PASS THROUGH AN 1-1/2" SIEVE AND THAT ROCK SIZE SHALL BE ABOUT 1/10TH OF THE PIPE OUTSIDE DIAMETER. HEAVY TAMPERS OR ROLLING EQUIPMENT SHALL ONLY BE USED TO CONSOLIDATE ONLY THE FINAL BACKFILL.

PLUMBING ABBREVIATIONS							
ABBREVIATION	SERVICE / ITEM						
AD	ACCESS DOOR						
ASME	AMERICAN SOCIETY OF MECHANICAL						
АНЦ							
REP							
(BG)	BELOW GRADE						
BR	BRONZE						
C							
CI	CASTIRON						
	CEILING						
CO							
	CLEAN OUT (EXISTING)						
CW							
DOV							
אח							
F5	FLOUR SINK						
GAL							
GPH	GALLONS PER HOUR						
G							
GPM	GALLONS PER MINUTE						
HP							
HW	DOMESTIC HOT WATER (120°F)						
HW(140)	DOMESTIC HOT WATER (140°F)						
HZ							
LAV	LAVATORY (ADA HANDICAP LAVATORY)						
MFR	MANUFACTURER						
MIN	MINIMUM						
MAX	MAXIMUM						
MECH	MECHANICAL						
MER	MECHANICAL EQUIPMENT ROOM						
MSB	MOP SERVICE BASIN						
NB	NICKEL BRONZE						
NC	NORMALLY CLOSED						
NO	NORMALLY OPENED						
NTS	NOT TO SCALE						
PH	PHASE						
PRV	PRESSURE REDUCING VALVE						
PSI	POUND PER SQUARE INCH						
RPZ	REDUCED PREESURE ZONE BACKFLOW						
	PREVENTER						
R	REGULATOR						
RM	ROOM						
RPM	REVOLUTIONS PER MINUTE						
SAN	SANITARY						
ST, SW	STORM DRAIN OR STORM WATER						
SK	SINK						
SQ FT.	SQUARE FEET						
SS	STAINLESS STEEL						
TEMP	TEMPERATURE						
THW	TANKLESS WATER HEATER TYP						
TYPICAL	UGS UNDERGROUND SANITARY						
UR	URINAL (HUR HANDICAP URINAL)						
V	VENT						
WC	WATER CLOSET (ADA HANDICAP WATER						
	CLOSET)						
WH	WATER HEATER						
WHA	WATER HAMMER ARESTER						
WHB	HOSE BIBB						
WM	WATER METER						

	POINT OF CONNECTION
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PLUMBI	NG LEGEND
NOTE: THIS IS A	GENERAL SYMBOL LEGEND, NOT
ALL SYMBOLS N	AY APPEAR WITHIN DRAWINGS
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, ,	
, 	
	- BALL VALVE
	-> BUTTERFLY VALVE ECTION OF FLOW)
, , , , , , , , , , , , , , , , , , ,	BACKFLOW PREVENTER
∽_⋈ <u>─</u>	-S SOLENOID VALVE
∽	- UNION
∽ + √+	-S STRAINER
\$ + <u>}</u> +	STRAINER W/BLOWOFF
∽	-S DIRECTION OF WATER FLOW
∽ —- Ū	-S GAS PLUG COCK
∽──┤♡̈́├───	-S GAS PRESSURE REGULATOR
ک #	PRESSURE RELIEF VALVE
ب	S FLEXIBLE PIPE CONNECTION
۶ PSD	S PUMP SUCTION DIFFUSER
∽ ک	S CONCENTRIC REDUCER
\$	S ECCENTRIC REDUCER
ب	S PUMP
, Щ	- S THERMOMETER
, Ι	S PRESSURE GAUGE
ç₹	S MANUAL AIR VENT
ςΑV	S AUTOMATIC AIR VENT
<u>م</u>	
DCW	J DOMESTIC COLD WATER, COLD WATER
<u></u> DHW	J DOMESTIC HOT WATER, HOT WATER
<u>DHWR</u>	S DOMESTIC HOW WATER RETURN, HOT WATER RETURN
ح SD	5 STORM DRAIN
<u>s</u>	STORM DRAIN, BELOW GRADE
ج SAN	SANITARY SEWER

PLUMBING SYMBOLS

NOTE: THIS IS A GENERAL LEGEND, NOT ALL

SYMBOLS MAY APPEAR WITHIN DRAWINGS

SAN SANITARY SEWER, BELOW GRADE

S-V---S VENT

			PIPE SIZE	S		
TAG	TYPE	DCW, DHW, CONNECTION SIZE (SERVICE IS DCW U.N.O.)	INDIVIDUAL DISTRIBUTION LINE SIZE (SERVICE IS DCW U.N.O.)	MIN. TRAP OR SEWER SIZE	MIN. VENT SIZE	REMARKS
WC-1L	FLOOR MONTED TANK TYPE TOILET (ADA) LEFT HAND FLUSH	1"	1"	3"	1 1/2"	VITREOUS CHINA TOILET, ELONGATED RIM, FULLY GLAZED TRAPWAY, 1.6 GPF WATER CLOSET, KOHLER "HIGHCLIFF" MODEL K-96057-B-O OR EQ SLOAN MODEL ECOS 115 ELECTRONIC SENSOR OPERATED FLUSH VALVE WITH MFG SUPPLIED 120V TO 6V TRANSFORMER, OR EQUAL, WITH OPE SOLID PLASTIC ELONGATED ANTI-MICROBIAL SEAT AND COVER, CHURCH MODEL 7650T OR EQUAL. SEAT HEIGHT OF 17" TO MEET ADA REQUIRE LEFT HAND FLUSH
WC-1R	FLOOR MONTED TANK TYPE TOILET (ADA) RIGHT HAND FLUSH	1"	1"	3"	1 1/2"	VITREOUS CHINA TOILET, ELONGATED RIM, FULLY GLAZED TRAPWAY, 1.6 GPF WATER CLOSET, KOHLER "HIGHCLIFF" MODEL K-96057-B-O OR EQ SLOAN MODEL ECOS 115 ELECTRONIC SENSOR OPERATED FLUSH VALVE WITH MFG SUPPLIED 120V TO 6V TRANSFORMER, OR EQUAL, WITH OPE SOLID PLASTIC ELONGATED ANTI-MICROBIAL SEAT AND COVER, CHURCH MODEL 7650T OR EQUAL. SEAT HEIGHT OF 17" TO MEET ADA REQUIRE RIGHT HAND FLUSH
S-1	LAVATORY UNDER COUNTER VITREOUS CHINA	3/8" DCW & DHW	1/2" DCW & DHW	1 1/2"	1 1/4"	VITREOUS CHINA 19.5"x16" UNDERMOUNT LAVATORY WITH 6" DEEP BOWL, KOHLER VERTICYL K-2882 OR EQUAL, SINGLE HOLE TO BE FIELD CUT COUNTER, FRONT OVERFLOW, W/1 1/4" CAST BRASS CHROME PLATED FITTINGS. CHROME PLATED GRID DRAIN, CHROME PLATED BRASS CW & H STOP VALVES; STAINLESS BRAIDED HOSE FAUCET CONNECTORS. FAUCET SHALL BE CROME PLATED BRASS, SENSOR ACTIVATED WITH SINGLE HOLE SINK INSTALLATION HARDWIRED 120V WITH TRANSFORMER. COMPLIANT, ADJUSTABLE INFRARED SENSOR RANGE, FILTERED SOLENOID VALVE WITH SERVICEABLE STRAINER FILTER. SLOAN MODEL EBF-61 EQUAL INSTALL WITH MIXING VALVE "TMV"
S-2	SINK SINGLE COMPARTMENT UNDER COUNTER STAINLESS STEEL	3/8" DCW & DHW	1/2" DCW & DHW	1 1/2"	1 1/4"	18"X18"X9" DEEP 16GA. STAINLESS STEEL UNDERCOUNTER SINGLE COMPARTMENT SINK, KOHLER K-5287 OR EQUAL. 4" SS DRAIN WITH REMOVABLE STRAINERS. CW & HW ANGLE STOP VALVES; FAUCET SHALL HAVE HIGH ARC, CHROME PLATED SINGLE LEVER FA WITH PULLDOWN SPRAY, MOEN "SLEEK" 7864 OR EQUAL, 1.5 GPM. INSTALL WITH MIXING VALVE "TMV"
BF-1	CHILLED WATER BOTTLE FILLING STATION	1/2" DCW	1/2" DCW	1 1/2"	1 1/4"	CHILLED WATER BOTTLE FILLING STATION, RECESSED IN-WALL DESIGN WITH HIGH-EFFICIENCY WATER CHILLER. NO-TOUCH SENSOR ACTIVATION AUTOMATIC 20-SECOND SHUT-OFF TIMER. ANTIMICROBIAL, FILTERED, HANDS FREE, HIGH EFFICIENCY, LAMINAR FLOW, REAL DRAIN, VISUAL FILT MONITOR. ELKAY MODEL LZWSGRN8K OR APPROVED EQUAL
IMB-1	ICE MAKER BOX	1/4" DCW	1/4" DCW	N/A	N/A	WATER OUTLET BOX, 1/4 TURN LEAD FREE VALVE WITH 3/8" COMPRESSED TUBE CONNECTIONS. SOUIX CHIEF "OX-BOX" MODEL 696-G1001 OR EC INSTALL 12" AFF
WH-1	WATER HEATER 40 GALLON TANK TYPE NATURAL GAS	3/4" DCW & DHW 3/4" NG	3/4" DCW & DHW 3/4" NG	N/A	N/A	A.O. SMITH MODEL GPDL 40, OR EQUAL, 40 GALLON NATURAL GAS FIRED 40,000 BTUH INPUT, 22" DIAMETER TANK SIZE WITH FACTORY FURNISHE RELIEF VALVE. MINIMUM 0.68 UEF. 45 GPH RECOVERY WITH 90°F TEMPERATURE RISE. SET TO 140°F.
WHT-1	THERMAL EXPANSION TANK	1/2" DHW	1/2" DHW	N/A	N/A	THERMAL EXPANSION TANK WITH BUTYL DIAPHRAM NOMINAL 2.1 GALLON CAPACITY 1.2 GALLON ACCEPTANCE AT 40 PSI, 150 PSI WORKING PRE- AIR CHARGING VALVE. EQUAL TO WATTS PLT-5
CO-2	FLOOR CLEANOUT	N/A	N/A	SEE DWG.	N/A	COATED CAST IRON FLOOR CLEANOUT WITH ABS CLEANOUT PLUG, ADJSUTABLE CAST IRON HOUSING, WITH MEDIUM DUTY SECURED NIKALOY " SQUARE OR ROUND TOP SHALL BE SELECTED TO MATCH FLOOR FINISH. EQUAL TO JOSAM SERIES 55000
WCO-2	WALL CLEANOUT	N/A	N/A	SEE DWG.	N/A	CAST IRON CLEANOUT TEE WITH BRASS THREADED FITTING PLUG TAPPED FOR CENTER SCREW JOSAM SERIES 58910 WITH SERIES 58600 COVE
YCO-1	YARD CLEANOUT	N/A	N/A	SEE DWG.	N/A	COATED CAST IRON FLOOR CLEANOUT WITH CAST IRON TOP, FLANGED CAST IRON HOUSING, ROUND TOP. MOUNT IN 12" SQUARE 6" THICK POUL CONCRETE LEVEL TO GRADE. EQUAL TO JOSAM SERIES 58460A
FD-2	FLOOR DRAIN	N/A	N/A	2"	N/A	COATED CAST IRON FLOOR DRAIN WITH ADJUSTABLE NICKLE-BRONZE STRAINER, FLASHING COLLAR, WEEP HOLES, & TRAP PRIMER CONNECTION MODEL 30000-A OR EQUAL.
TP-2	TRAP PRIMER VALVE	1/2" DCW	1/2" DCW	N/A"	N/A	PPP MDL. PR-500 OR EQUAL APRESSURE DROP ACTIVATED TRAP PRIMER VALVE FOR FLOOR DRAINS. FURNISH AND INSTALL 1/4" COPPER TUBIN PRIMER TO FLOOR DRAIN. PRIMER TO BE INSTALLED AS TO ALLOW MAINTENANCE ACCESS ABOVE CEILING.
WHA-2	WATER HAMMER ARRESTOR	1/2" CW	N/A	N/A	N/A	WATER HAMMER ARRESTORS SHALL BE SIOUX CHIEF HYDRARESTER 652-A OR EQUAL.
TMV	THERMOSTATIC MIXING VALVE	3/8" DCW & DHW	1/2" DCW & DHW	N/A	N/A	EQUAL TO WATTS LFUSG W/MIN 2.25GPM MAX TEMPERED WATER SET FOR 115°F. MIXING VALVE BY FAUCET MANUFACTURER MAY BE SUBSTITU
WHP-1	HW CIRCULATING PUMP	1/2" DHWR	1/2" DHWR	N/A	N/A	VARIABLE SPEED HOT WATER CIRCULATION PUMP WITH TEMP SENSORS. BRONZE CONSTRUCTION, INTEGRAL CHECK VALVE 1.5 GPM AT 4 FT HE EQUAL TO TACO 003 IFC 115V @ .45 AMPS

SEPARATE WALL CUT-OFF VALVES AT EACH FIXTURE.

FIXTURE SCHEDULE

ALL WATER SUPPLY LINES TO LAVATORIES, SINKS AND TANK TYPE WATER CLOSETS SHALL BE PROVIDED WITH INSTALL FIXTURE AND ACCESSORIES IN ACCORDANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S RECOMMENDATIONS. CODE SHALL GOVERN IF DIFFERENT FROM MANUFACTURER'S INSTRUCTIONS.

PIPING & INSULATION SCHEDULE										
SERVICE DESIGNATION	DESCRIPTION	PIPE DESCRIPTION								
CW	COLD POTABLE WATER 20-100 PSIG 50-70°F	COPPER - ASTM B88 TYPE L OR K HARD DRAWN COPPER TUBING WITH WROT COPPER SOLDER TYPE FITTINGS ASSEMBLED WITH LEAD-FREE SOLDER. FLUSH AND CLEAN IN ACCORDANCE WITH AWWA RECOMMENDATIONS.	1/2" A							
		CONTRACTOR'S OPTION 1: (UNEXPOSED AREAS ONLY) PEX - ASTM F877 CROSS LINKED, PER 5306, SDR 9 TUBING WITH ASTM F 1807 BRASS OR COPPER FITTINGS AND COPPER CRIMP RINGS OR COLD EXPANSION FITTINGS WITH ASTM F1960PEX REINFORCING RING. BLUE COLOR. PEX TUBING SHALL HAVE A 50 YEAR LIFE FOR CHLORINE EXPOSURE PER ASTM F876. PEX TUBING INSTALLED UNDER A FLOOR SLAB SHALL BE A SINGLE CONTINUOUS TUBING SECTION WITH NO FITTINGS OR JOINTS.								
HW, HW(140), HWR	DOMESTIC HOT WATER 20-100 PSIG 20-140°F	COPPER - ASTM B88 TYPE L OR K HARD DRAWN COPPER TUBING WITH WROT COPPER SOLDER TYPE FITTINGS ASSEMBLED WITH LEAD-FREE SOLDER. FLUSH AND CLEAN IN ACCORDANCE WITH AWWA RECOMMENDATIONS.	1/2" A							
		CONTRACTOR'S OPTION 1:(UNEXPOSED AREAS ONLY) PEX - ASTM F877 CROSS LINKED, PER 5306, SDR 9 TUBING WITH ASTM F 1807 BRASS OR COPPER FITTINGS AND COPPER CRIMP RINGS OR COLD EXPANSION FITTINGS WITH ASTM F1960PEX REINFORCING RING. RED COLOR. PEX TUBING SHALL HAVE A 50 YEAR LIFE FOR CHLORINE EXPOSURE PER ASTM F876. PEX TUBING INSTALLED UNDER A FLOOR SLAB SHALL BE A SINGLE CONTINUOUS TUBING SECTION WITH NO FITTINGS OR JOINTS.								
V	VENT FOR SS 0 PSIG 70°F	PVC - ASTM D2665 PVC DWV SOLVENT WELD PIPE AND FITTINGS WITH ASTM D2466 SOCKET TYPE CONNECTIONS. PURPLE PRIMER CONFORMING CONFORMING TO ASTM F 665 SHALL BE USED TO PRIME PVC FOR SOLVENT.								
SS,SD	SANITARY SEWER, STORM DRAIN	PVC - ASTM D2665 PVC DWV SCH 40 SOLVENT WELD PRESSURE PIPE AND FITTINGS WITH ASTM D2466 SOCKET TYPE CONNECTIONS. PURPLE PRIMER CONFORMING CONFORMING TO ASTM F 665 SHALL BE USED TO PRIME PVC FOR SOLVENT.								

PLUMBING PIPE SUPPORT TABLE								
PIPING MATERIAL	MAX. HORIZ. SPACING (FT)							
STEEL, SCHEDULE 10 & GREATER	12							
COPPER AND BRASS PIPE	10							
COPPER AND COPPER-ALLOY TUBING								
1 1/4" & <	6							
1 1/2" & >	10							
CPVC PIPE								
1" & <	3							
1 1/4" & >	4							
PEX TUBING & POLYPROPYLENE PIPE 1" AND SMALLER (NOTE 4)	32 INCHES							
PVC (*), ABS	4							
CAST AND DUCTILE IRON	5(**)							
	-							

(*) SPACING AT 80°F. SEE MANUFACTURER'S REQUIREMENTS IF TEMPERATURES ARE ABOVE 80°F. (**) HANGER IS WITHIN 18" OF EACH JOINT WITH MAXIMUM HANGER SPACING NOT TO EXCEED 5' ON 5' LENGTHS AND 10' ON 10' LENGTHS OF PIPE.

NOTES: 1. PIPES 4" AND LARGER SHALL BE RESTRAINED AT ALL CHANGES IN DIRECTION. 2. ADDITIONAL SUPPORT SHALL BE PROVIDED AT INLET AND OUTLET OF

VALVES, FILTERS, METERS, OR SIMILAR DEVICES. WHICH IMPOSE ADDITIONAL WEIGHT ON THE PIPE. 3. BASED ON 2018 INTERNATIONAL MECHANICAL CODE.

4. AS AN ALTERNATE PIPE MAY BE SUPPORTED CONTINUOUSLY USING UPONOR PEX-a PIPE SUPPORT OR EQUAL.

	PLUMBING DRAWING LIS
P0.01	PLUMBING LEGEND AND SPECIFICATIONS
P1.01	PLUMBING SANITARY DEMOLITION PLAN
P1.02	PLUMBING DOMESTIC WATER DEMOLITION PLA
P1.03	PLUMBING SANITARY PLAN
P1.04	PLUMBING DOMESTIC WATER PLAN
P2.01	PLUMBING DETAILS

- 1. . VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST
- AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS. 2. NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS.
- 3. PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS, ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK
- 4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS, CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING. 6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A WORKING INSTALLATION.
- 7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION. 8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
- 9. COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS RISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
- 10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS. 11. DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH
- ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH OTHER TRADES TO FURNISH AND INSTALL WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED. 12. COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL EQUIPMENT.
- 13. ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS. 14. COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES WITH GENERAL CONTRACTOR. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION BY CONTRACTOR AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND
- EQUIPMENT. 15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON PLUMBING COVER SHEET FOR FURTHER INFORMATION.

DEMOLITION NOTES:

- 1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST. 2. REMOVAL OF EXISTING FIXTURES AND EQUIPMENT WILL REQUIRE ISOLATING THE PIPING RISERS OR MAINS VIA SHUT-OFF VALVES. INSTALL NEW
- ISOLATION VALVES WHERE REQUIRED FOR COMPLETION OF WORK. 3. REMOVAL OF EXISTING PLUMBING FIXTURES AND EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY.
- 4. ALL DRAINED PIPING RISERS AND MAINS SHALL BE REFILLED WITH PROPER FLUID AND PROPERLY VENTED BY THIS CONTRACTOR, ONCE NEW WORK HAS BEEN INSTALLED.
- 5. COORDINATE WITH GENERAL CONTRACTOR THE REMOVAL AND REPLACEMENT OF ALL EXISTING CEILINGS, WALLS, ETC. AS REQUIRED FOR MECHANICAL DEMOLITION WORK. 6. EXISTING PIPING AND EQUIPMENT, ETC., NOT TO BE UTILIZED IN THE COMPLETED BUILDING SHALL BE DISCONTINUED OR REMOVED AS
- REQUIRED. ALL ENDS OF DISCONTINUED PIPING SHALL BE CAPPED IN THE NEAREST WALL, CEILING OR FLOOR SO THAT THEY ARE COMPLETELY CONCEALED. OPENINGS LEFT IN WALLS, CEILINGS, ETC., WHERE EQUIPMENT AND PIPE, ETC., ARE REMOVED AND NOT REPLACED, SHALL BE PATCHED NEATLY WITH SIMILAR MATERIAL TO ADJACENT CONSTRUCTION. REFER TO DRAWINGS DELINEATING NEW WORK FOR ADDITIONAL INFORMATION REGARDING SYSTEMS OR PORTIONS OF SYSTEMS WHERE USE IS TO BE DISCONTINUED.
- 7. EXISTING PIPING, FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
- 8. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
- 9. WHERE EXISTING PIPING AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE.
- 10. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODELED BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. 11. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST
- AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE. 12. ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY DISPOSED OF.

DEMOLITION PLAN NOTES: (#)

- 1. REMOVE EXISTING GAS WATER HEATER, ASSOCIATED PUMPS AND ALL PIPING NOT REQUIRED BY THE INSTALLATION OF NEW WATER HEATER. REMOVE AND PROPERLY DISPOSE OF REMOVED MATERIAL.
- 2. REMOVE SINK AND ASSOCIATED PIPING TO A POINT BEHIND WALL AND CAP. COORDINATE WALL REPAIR WITH OTHER TRADES.
- 3. REMOVE WATER CLOSET AND ASSOCIATED PIPING TO A POINT BEHIND WALL AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.
- 4. REMOVE SINK AND ASSOCIATED PIPING TO A POINT BEHIND WALL AND REROUTE FOR NEW SINK AS REQUIRED. COORDINATE WALL REPAIR WITH OTHER TRADES. 5. REMOVE WATER CLOSET. REROUTE PIPING AS REQUIRED FOR INSTALLATION OF NEW WATER CLOSET. COORDINATE WALL AND FLOOR
- REPAIR WITH OTHER TRADES. 6. REMOVE SINK AND ASSOCIATED PIPING TO POINT INDICATED ABOVE CEILING AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE
- WALL AND FLOOR REPAIR WITH OTHER TRADES. 7. REMOVE TUB AND ASSOCIATED PIPING TO POINT INDICATED ABOVE CEILING AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE
- WALL AND FLOOR REPAIR WITH OTHER TRADES. 8. REMOVE ALL KITCHEN PLUMBING FIXTURES, PIPING, ACCESSORIES, FLOOR DRAINS AND FLOOR SINKS. TO A POINT ABOVE CEILING AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.
- 9. FURNISH AND INSTALL CAP AT POINT INDICATED. 10. REMOVE SLAB AND SECTION OF PIPING FOR INSTALLATION OF NEW CLEANOUT, CAP ABANDONED PIPING BELOW SLAB. COORDINATE WALL
- AND FLOOR REPAIR WITH OTHER TRADES. 11.PLUMBING SHOWN IN THIS AREA WAS TO BE REMOVED IN A PREVIOUS RENOVATION. CONTRACTOR SHALL EXAMINE SPACE AND REMOVE ANY
- PIPING WITH THE EXCEPTION OF THE VTR. VTR TO BE CAPPED BELOW ROOF. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES. 12. SINK INSTALLED IN THIS LOCATION HAS NO RECORD DATA TO INDICATE PIPING, OR TIE-IN LOCATIONS. CONTRACTOR SHALL REMOVE ALL PIPING TO A POINT INDICATED ABOVE CEILING AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES. VTR IF INSTALLED TO REMAIN AND BE CAPPED BELOW ROOF.
- 13. REMOVE FLOOR DRAIN OR CLEANOUT TO A POINT BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES. 14. CUT SLAB AS REQUIRED IN AREA INDICATED. REMOVE A SECTION OF PIPE AND INSTALL CAPS ON EACH PIPE END. COORDINATE WALL AND
- FLOOR REPAIR WITH OTHER TRADES.

DEMOLITION LEGEND:

PIPE TO REMAIN PIPE TO BE REMOVED

NOTE

ORIGINAL PLUMBING FIXTURE SCHEDULE P-1 WATER CLOSET (JUNIOR) P-9 LAUNDRY SINK P-2 WATER CLOSET P-10 BATH WITH HAND SPRAY P-11 JANITOR FLOOR SINK P-3 LAVATORY P-4 LAVATORY (COUNTER TOP) P-12 CAN WASH FAUCET P-5 LAVATORY P-13 DRINKING FOUNTAIN P-6 LAVATORY (WITH WRIST CONTR.) P-14 WASHER AND WALL BOX P-7 SINK (WITH BUBBLER) P-15 DRYER P-8 SINK (WORK)

FIXTURE SCHEDULE IS BASED UPON THE FIXTURE SCHEDULE FROM THE ORIGINAL CONSTRUCTION DOCUMENTS AND IS TO SHOW PLACEMENT ONLY. MANY FIXTURES HAVE BEEN REPLACED OR REMOVED. THE ENGINEER BELIEVES THE UTILITIES FOR THE REMOVED FIXTURES IS STILL IN PLACE AND DEMOLITION WORK SHOULD PROCEED ACCORDING TO THESE PLANS. IF THE UTILITIES HAVE ALREADY BEEN DEMOLISHED BUT PARTS REMAIN UTILITIES SHALL BE REMOVED AND CAPPED TO ALLOW CONSTRUCTION FOR THE NEW LAYOUT.

PLUMBING - SANITARY DEMOLITION FLOOR PLAN SCALE: 3/16" = 1'-0"

- 1. . VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- 2. NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS. 3. PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS, ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- 4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS. 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS, CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING
- DEMOLITION AND PHASING. 6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A WORKING INSTALLATION.
- 7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- 8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C. 9. COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS RISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
- 10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
- 11.DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH OTHER TRADES TO FURNISH AND INSTALL WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED. 12. COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL
- EQUIPMENT. 13. ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS
- 14. COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES WITH GENERAL CONTRACTOR. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION BY CONTRACTOR AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND EQUIPMENT.
- 15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON PLUMBING COVER SHEET FOR FURTHER INFORMATION.

DEMOLITION NOTES:

- 1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
- 2. REMOVAL OF EXISTING FIXTURES AND EQUIPMENT WILL REQUIRE ISOLATING THE PIPING RISERS OR MAINS VIA SHUT-OFF VALVES. INSTALL NEW ISOLATION VALVES WHERE REQUIRED FOR COMPLETION OF WORK. 3. REMOVAL OF EXISTING PLUMBING FIXTURES AND EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING
- MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY.
- 4. ALL DRAINED PIPING RISERS AND MAINS SHALL BE REFILLED WITH PROPER FLUID AND PROPERLY VENTED BY THIS CONTRACTOR, ONCE NEW WORK HAS BEEN INSTALLED. 5. COORDINATE WITH GENERAL CONTRACTOR THE REMOVAL AND REPLACEMENT OF ALL EXISTING CEILINGS, WALLS, ETC.
- AS REQUIRED FOR MECHANICAL DEMOLITION WORK. 6. EXISTING PIPING AND EQUIPMENT, ETC., NOT TO BE UTILIZED IN THE COMPLETED BUILDING SHALL BE DISCONTINUED OF REMOVED AS REQUIRED. ALL ENDS OF DISCONTINUED PIPING SHALL BE CAPPED IN THE NEAREST WALL, CEILING OR
- FLOOR SO THAT THEY ARE COMPLETELY CONCEALED. OPENINGS LEFT IN WALLS, CEILINGS, ETC., WHERE EQUIPMENT AND PIPE, ETC., ARE REMOVED AND NOT REPLACED, SHALL BE PATCHED NEATLY WITH SIMILAR MATERIAL TO ADJACENT CONSTRUCTION. REFER TO DRAWINGS DELINEATING NEW WORK FOR ADDITIONAL INFORMATION REGARDING SYSTEMS OR PORTIONS OF SYSTEMS WHERE USE IS TO BE DISCONTINUED.
- 7. EXISTING PIPING, FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
- 8. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
- 9. WHERE EXISTING PIPING AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE. 10. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY
- OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODELED BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. 11. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO
- PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE. 12. ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY DISPOSED OF.

DEMOLITION PLAN NOTES: **(**

- 1. REMOVE EXISTING GAS WATER HEATER, ASSOCIATED PUMPS AND ALL PIPING NOT REQUIRED BY THE INSTALLATION OF NEW WATER HEATER. REMOVE AND PROPERLY DISPOSE OF REMOVED MATERIAL. 2. REMOVE SINK AND ASSOCIATED PIPING TO A POINT BEHIND WALL AND CAP. COORDINATE WALL REPAIR WITH OTHER
- TRADES.
- 3. REMOVE WATER CLOSET AND ASSOCIATED PIPING TO A POINT BEHIND WALL AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.
- 4. REMOVE SINK AND ASSOCIATED PIPING TO A POINT BEHIND WALL AND REROUTE FOR NEW SINK AS REQUIRED. COORDINATE WALL REPAIR WITH OTHER TRADES.
- 5. REMOVE WATER CLOSET. REROUTE PIPING AS REQUIRED FOR INSTALLATION OF NEW WATER CLOSET. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES.
- 6. REMOVE SINK AND ASSOCIATED PIPING TO A POINT ABOVE CEILING AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES. 7. REMOVE TUB AND ASSOCIATED PIPING TO A POINT ABOVE CEILING AND BELOW FLOOR. CAP ABANDONED PIPING.
- COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES. 8. REMOVE ALL KITCHEN PLUMBING FIXTURES AND ACCESSORIES. REMOVE PIPING AS INDICATED TO A POINT ABOVE
- CEILING AND BELOW FLOOR. CAP ABANDONED PIPING. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES. 9. REMOVE WATER CLOSET AND PIPING AS INDICATED. COORDINATE WALL AND FLOOR REPAIR WITH OTHER TRADES. 10.NOT USED.

11. REMOVE LAUNDRY PIPING THAT REMAINS IN THIS AREA. REMOVE PIPING INDICATED BACK TO THE MECHANICAL ROOM.

12. EXISTING DHWR PIPING TO REMAIN AND BE REUSED AS DHW SUPPLY. 13. REMOVE GAS PIPING INDICATED, CAP PIPING AT GAS RISER.

DEMOLITION LEGEND:

PIPE TO REMAIN	<i>ډ</i>
PIPE TO BE REMOVED	\$ }}}<u></u>
NEW PIPE CAP LOCATION	C

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ORIGINAL PLUMBING FIXTURE SCHEDULE							
P-1	WATER CLOSET (JUNIOR)	P-9 LAUNDRY SINK					
P-2	WATER CLOSET	P-10 BATH WITH HAND SPRAY					
P-3	LAVATORY	P-11 JANITOR FLOOR SINK					
P-4	LAVATORY (COUNTER TOP)	P-12 CAN WASH FAUCET					
P-5	LAVATORY	P-13 DRINKING FOUNTAIN					
P-6	LAVATORY (WITH WRIST CONTR.)	P-14 WASHER AND WALL BOX					
P-7	SINK (WITH BUBBLER)	P-15 DRYER					
P-8	SINK (WORK)						

NOTE: FIXTURE SCHEDULE IS BASED UPON THE FIXTURE SCHEDULE FROM THE ORIGINAL CONSTRUCTION DOCUMENTS AND IS TO SHOW PLACEMENT ONLY. MANY FIXTURES HAVE BEEN REPLACED OR REMOVED. THE ENGINEER BELIEVES THE UTILITIES FOR THE REMOVED FIXTURES IS STILL IN PLACE AND DEMOLITION WORK SHOULD PROCEED ACCORDING TO THESE PLANS. IF THE UTILITIES HAVE ALREADY BEEN DEMOLISHED BUT PARTS REMAIN UTILITIES SHALL BE REMOVED AND CAPPED TO ALLOW CONSTRUCTION FOR THE NEW LAYOUT.

- 1. VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- 2. NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS. 3. PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS, ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK. 4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE
- TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS. 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS,
- CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING. 6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A
- WORKING INSTALLATION. 7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- 8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C. 9. COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS RISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
- 10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
- 11.DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH E.C. PROVIDE WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED.
- 12. COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL EQUIPMENT.
- 13. ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS. 14. COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES WITH GENERAL CONTRACTOR. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION BY CONTRACTOR AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND EQUIPMENT.
- 15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON PLUMBING COVER SHEET FOR FURTHER INFORMATION.

PLAN NOTES: 🗇

- 1. FURNISH AND INSTALL NEW WATER HEATER, PUMP AND ASSOCIATED PIPING IN THIS AREA
- AS INDICATED ON WATER HEATER DETAIL ON DRAWING P2.01.
- 2. TIE IN EXISTING PIPING TO NEW AT POINT INDICATED. 3. PIPE CAPPED BELOW SLAB DURING DEMOLITION. REPAIR SLAB TO MATCH EXISTING.
- 4. PIPE CAPPED ABOVE CEILING DURING DEMOLITION. 5. CONNECT NEW DRAIN PIPE FROM FIXTURE TO EXISTING PIPE AND CONNECT. SIZE PIPE TO
- MATCH EXISTING PIPE. 6. NEW WATER CLOSET, CONNECT TO EXISTING PLUMBING. MODIFY PIPING AS NEEDED TO INSTALL FIXTURE IN NEW LOCATION. REPAIR WALL AND/OR SLAB TO MATCH EXISTING.
- 7. FURNISH AND INSTALL NEW FLOOR CLEANOUT IN LOCATION INDICATED. REPAIR SLAB TO MATCH EXISTING.
- 8. FURNISH AND INSTALL NEW PLUMBING FIXTURE, NEW VENT AND UNDERSLAB PIPING AS INDICATED. REPAIR SLAB TO MATCH EXISTING.

- 1. VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- 2. NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS. 3. PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS,
- ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK. 4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE
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- CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING. 6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A
- WORKING INSTALLATION. 7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- 8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C. 9. COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS RISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
- 10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND
- SPECIFICATIONS FOR REQUIREMENTS. 11.DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH E.C. PROVIDE WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED.
- 12. COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL EQUIPMENT.
- 13. ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS. 14. COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES WITH GENERAL CONTRACTOR. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION BY CONTRACTOR AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND EQUIPMENT.
- 15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON PLUMBING COVER SHEET FOR FURTHER INFORMATION.

PLAN NOTES: 💮

- 1. FURNISH AND INSTALL NEW WATER HEATER, PUMP AND ASSOCIATED PIPING IN THIS AREA AS INDICATED ON WATER HEATER DETAIL ON DRAWING P2.01.
- 2. TIE IN EXISTING PIPING TO NEW AT POINT INDICATED. 3. PIPE CAPPED BEHIND WALL DURING DEMOLITION. REPAIR WALL AS REQUIRED TO MATCH
- EXISTING. 4. PIPE CAPPED ABOVE CEILING DURING DEMOLITION. 5. FURNISH AND INSTALL NEW FIXTURE AS INDICATED. CONNECT NEW DOMESTIC WATER PIPE
- FROM FIXTURE TO EXISTING PIPE AS INDICATED AND CONNECT. SIZE PIPE TO MATCH FIXTURE REQUIREMENTS.
- 6. FURNISH AND INSTALL NEW WATER CLOSET AS INDICATED. CONNECT TO EXISTING PLUMBING. MODIFY PIPING AS NEEDED TO INSTALL FIXTURE IN NEW LOCATION. REPAIR WALL TO MATCH EXISTING.
- 7. VALVE BOXES ARE INDICATED ON SITE PLAN IN THIS LOCATION, (SEE SITE PLAN ON DRAWING P2.01) BUT WERE NOT LOCATED IN FIELD OBSERVATION. CONTRACTOR SHALL LOCATE BOXES AND MODIFY AS REQUIRED TO ALLOW ACCESSIBILITY TO THE VALVE FROM THE GRADE LEVEL. SEE VALVE BOX DETAIL ON DRAWING P2.01

SCALE 1/2"=1'-0"

ELECTRICAL SPECIFICATIONS

GENERAL

CONTRACTOR SHALL INSPECT THE SITE PRIOR TO SUBMITTING BID. THE DRAWINGS ARE INTENDED TO COVER THE COMPLETE ELECTRICAL SYSTEMS. THE DRAWINGS MAY NOT SHOW THE COMPLETE OR ACCURATE DETAILS OF THE BUILDING OR SYSTEM IN EVERY RESPECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY ADDITIONAL INFORMATION AS REQUIRED.

DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO SHOW APPROXIMATE LOCATIONS. ELECTRICAL WORK SHALL NOT INTERFERE WITH CLEARANCES REQUIRED FOR GENERAL AND MECHANICAL CONSTRUCTION. ANY CORRECTIONS WILL BE MADE BY THE ELECTRICAL CONTRACTOR AT NO COST TO THE OWNER.

THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED AS MUTUALLY EXPLANATORY AND COMPLEMENTARY. ANY ELECTRICAL WORK CALLED FOR BY ONE AND NOT BY THE OTHER SHALL BE PERFORMED AS THOUGH REQUIRED BY ALL.

ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, 2014 EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES. ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE LOCAL CODES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. ALL WORK SHALL BE ACCOMPLISHED IN A NEAT, PROFESSIONAL MANNER.

FULLY COORDINATE WITH THE LOCAL POWER AND TELEPHONE COMPANIES TO PROPERLY SERVE THE FACILITY. CONTRACTOR SHALL PROVIDE AND INSTALL ALL CONDUIT, WIRE, PULL STRINGS, ETC. AS DIRECTED BY THE POWER AND TELEPHONE COMPANIES, TO MAKE SERVICE CONNECTION COMPLETE. LOCATION OF THE POWER COMPANY TRANSFORMER, AND THE TELEPHONE COMPANY CONNECTION POINT IS DETERMINED BY THE CIVIL ENGINEERING DRAWINGS, AND SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO ROUGH-IN.

PROVIDE NEMA 1 ENCLOSURES FOR INDOOR USE AND NEMA 3R ENCLOSURES FOR OUTDOOR USE, UNLESS NOTED OTHERWISE.

THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND INCIDENTALS TO INSTALL A COMPLETE AND OPERABLE ELECTRICAL SYSTEM AS CALLED FOR ON THE DRAWINGS AND AS SPECIFIED HEREIN. ALL MATERIALS SHALL BE NEW AND SHALL BEAR THE U/L LABEL.

CATALOG NUMBERS ARE SHOWN ON THE DRAWINGS TO DESCRIBE THE ITEM AND THE EXPECTED QUALITY. SUBSTITUTIONS MAY BE MADE ONLY WITH THE APPROVAL OF THE ARCHITECT/OWNER. REQUEST FOR SUBSTITUTIONS MUST BE MADE TEN (10) DAYS PRIOR TO BIDDING.

CONTRACTOR SHALL CONFIRM BRANCH CIRCUIT SIZING FOR ALL MECHANICAL AND OTHER EQUIPMENT PRIOR TO INSTALLATION. ANY ADJUSTMENTS SHALL BE MADE BY THE ELECTRICAL CONTRACTOR. REVISIONS TO THE SIZING OF BRANCH CIRCUITS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL EQUIPMENT AND SYSTEMS BEFORE PLACING INTO OPERATION. RESTORE FINISHED SURFACES IF DAMAGED AND DELIVER THE ENTIRE INSTALLATION IN AN APPROVED CONDITION. CONTRACTOR SHALL INSTRUCT THE OWNER'S PERSONNEL IN THE PROPER OPERATION AND MAINTENANCE OF THE SYSTEMS. THE CONTRACTOR SHALL FURNISH TO THE OWNER THREE SETS OF OPERATION AND MAINTENANCE MANUALS FOR EACH SYSTEM.

CONTRACTOR SHALL GUARANTEE THE WORK INSTALLED UNDER HIS CONTRACT FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. DEFECTS WHICH APPEAR AS A RESULT OF NORMAL USAGE SHALL BE REMEDIED BY THE CONTRACTOR TO THE COMPLETE SATISFACTION OF THE OWNER WITHOUT COST TO THE OWNER.

CONTRACTOR SHALL KEEP CURRENT A SET OF PLANS FOR THE DURATION OF CONSTRUCTION WITH ALL CHANGES TO WORK NEATLY AND ACCURATELY MARKED IN RED AND SHALL TURN OVER TO THE OWNER AT COMPLETION OF THE PROJECT.

IN ACCORDANCE WITH ARTICLE 110.16 OF THE NATIONAL ELECTRICAL CODE 2014, ALL ELECTRICAL EQUIPMENT THAT WILL LIKELY REQUIRE EXAMINATION, ADJUSTING, SERVICING OR MAINTENANCE WHILE ENERGIZED SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF A POTENTIAL ARC FLASH HAZARD, AND THE REQUIREMENT FOR OBSERVING SAFE WORK PRACTICES AND THE WEARING OF PERSONAL PROTECTIVE EQUIPMENT. THE ELECTRICAL EQUIPMENT SHALL INCLUDE, BUT IS NOT LIMITED TO PANELBOARDS, CONTROL PANELS AND DISCONNECT DEVICES. WORK PRACTICES SHALL BE AS REQUIRED BY NFPA-70E-2012. ELECTRICAL CONTRACTOR SHALL DEVELOP, OR CAUSE TO BE DEVELOPED, ALL NECESSARY STUDIES AND CALCULATIONS TO PROPERLY MARK ALL EQUIPMENT WITH ITS BOUNDARY LIMITS AND LEVEL OF PERSONAL PROTECTIVE EQUIPMENT. (PPE)

PANELBOARDS

PANELBOARDS SHALL BE DEAD FRONT, SAFETY TYPE HAVING BUS SIZE, AND NUMBER AND SIZES OF BRANCH BREAKERS AS INDICATED ON THE DRAWINGS.

BRANCH BREAKERS SHALL BE MOLDED PLASTIC CASE, AIR CIRCUIT BREAKER TYPE, WITH THERMAL-MAGNETIC TRIP UNITS. MULTI-POLE BREAKERS SHALL HAVE AN INTEGRAL CROSSBAR TO ASSURE SIMULTANEOUS OPENING OF ALL POLES. BREAKERS SHALL HAVE AN OVER CENTER TRIP-FREE, TOGGLE-TYPE OPERATING MECHANISM WITH QUICK-MAKE, QUICK-BREAK ACTION AND POSITIVE HANDLE INDICATION.

ALL TERMINALS SHALL BE RATED FOR 75 DEGREES CELSIUS COPPER WIRE.

ALL PANELS TO HAVE A GROUND BUS AND AN ISOLATED NEUTRAL BUS.

PANELBOARDS SHALL HAVE A TYPED CIRCUIT DIRECTORY CARD MOUNTED IN A FRAME WITH PLASTIC COVER MOUNTED ON THE INSIDE OF THE DOOR. HANDWRITTEN DIRECTORIES ARE NOT ACCEPTABLE. EVERY CIRCUIT AND CIRCUIT MODIFICATION SHALL BE LEGIBLY IDENTIFIED AS TO ITS CLEAR, EVIDENT, AND SPECIFIC PURPOSE OR USE. THE IDENTIFICATION SHALL INCLUDE SUFFICIENT DETAIL TO ALLOW EACH CIRCUIT TO BE DISTINGUISHED FROM ALL OTHERS.

ALL PANELS SHALL BE LABELED AS TO PANEL NAME, NUMBER OR LETTER AND AS TO VOLTAGE LEVEL. THIS LABEL SHALL BE IN THE FORM OF A WHITE PHENOLIC TAG WITH BLACK ENGRAVED LETTERING.

RECEPTACLES AND SWITCHES

RECEPTACLES SHALL BE OF THE GROUNDING TYPE WITH GROUND CONNECTION MADE THROUGH AN EXTRA POLE WHICH SHALL BE PERMANENTLY CONNECTED TO THE RACEWAY AND GROUNDING SYSTEMS. MOUNTING HEIGHT OF RECEPTACLES SHALL BE 16" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.

ALL RECEPTACLES INSTALLED IN 'WET' LOCATIONS (EXTERIOR) SHALL BE 'WEATHER-RESISTANT' RATED.

SWITCHES SHALL BE 20 AMP TOGGLE SWITCH TYPE, 120-277V. SWITCH SHALL BE QUIET ACTION. MOUNTING HEIGHT OF DEVICES IN EXPOSED CONCRETE BLOCK OR BRICK SHALL OCCUR WITHIN A

LIGHTING FIXTURES

STRUCTURAL COURSE.

LIGHTING FIXTURES SHALL BE FURNISHED COMPLETE IN ALL RESPECTS PER FIXTURE SCHEDULE. VERIFY CEILING FINISHES AND SUSPENSION SYSTEMS FOR SELECTION OF PROPER TRIM AND SUPPORT ARRANGEMENTS.

RECESSED FIXTURES MOUNTED IN GRID CEILING SHALL BE SUPPORTED INDEPENDANT OF THE CEILING GRID. AS A MINIMUM, TWO WIRES SHALL BE ATTACHED ON OPPOSITE ENDS OF EACH FIXTURE AND ATTACHED TO THE STRUCTURE. ADDITIONAL WIRES MAY BE REQUIRED BY THE LOCAL AUTHORITIES.

LIGHTING FIXTURES (CONTINUED)

PENDANT MOUNTED FIXTURES SHALL BE SUPPORTED FROM THE BUILDING STEEL BY CHAIN AND 'S' HOOKS THAT ARE SUITABLE TO CARRY THE WEIGHT OF THE FIXTURES.

VOLTAGE OF THE FIXTURES SHALL BE AS REQUIRED BY THE DESIGN.

RACEWAYS

ALL WIRING SHALL BE INSTALLED IN SUITABLE RACEWAYS AS SPECIFIED BELOW:

RACEWAYS INSTALLED BELOW OR IN-SLAB, OR BELOW GRADE SHALL BE RIGID STEEL OR PVC, SCHEDULE 40 WITH RIGID ELBOWS - MINIMUM SIZE 1".

RACEWAYS RUN CONCEALED IN, OR EXPOSED ON, WALLS AND CEILINGS MAY BE EMT. EMT SHALL BE ONLY USED FOR BRANCH CIRCUIT WIRING - MINIMUM SIZE SHALL BE 1/2" AND MAXIMUM SIZE SHALL BE 2". COMPRESSION FITTINGS ONLY SHALL BE USED WITH EMT.

IN EXPOSED AREAS RIGID STEEL SHALL BE USED BELOW 8 FEET ABOVE THE FINISHED FLOOR. EMT MAY BE USED ABOVE 8 FEET.

RIGID STEEL CONDUIT SHALL BE USED FOR ALL APPLICATIONS NOT LISTED FOR EMT.

FLEXIBLE METALLIC CONDUIT (GREENFIELD) MAY BE USED FOR FINAL CONNECTIONS TO FIXTURES AND EQUIPMENT. MAXIMUM LENGTH SHALL BE 6'. LIMIT THE NUMBER OF BENDS BETWEEN OUTLET AND PANEL, OUTLET AND OUTLET, OR PANEL AND EQUIPMENT TO THE EQUIVALENT OF THREE 90 DEGREE BENDS (TOTAL OF 270 DEGREES). PULL BOX (POINT) WILL NEED TO BE ADDED IF THIS IS EXCEEDED. CONDUITS ROUTED ABOVE SUSPENDED CEILINGS SHALL BE SUPPORTED INDEPENDENTLY OF THE CEILINGS.

CONDUITS ROUTED EXPOSED TO THE FLOOR SHALL BE RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL MEMBERS.

EMPTY CONDUITS SHALL BE FURNISHED WITH PULL WIRE FOR FUTURE INSTALLATION OF CABLING.

OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RATED WALLS, PARTITIONS, FLOORS OR CEILINGS SHALL BE SEALED USING APPROVED METHODS TO MAINTAIN THE FIRE-RESISTANCE RATING OF THE WALL, FLOOR OR CEILING.

OUTLET AND JUNCTION BOXES

OUTLET, TAP, JUNCTION AND PULL BOXES SHALL BE PROVIDED AS REQUIRED.

TAP, JUNCTION AND PULL BOXES SHALL BE SIZED AS REQUIRED AND FURNISHED WITH SCREW FASTENED COVERS.

OUTLET BOXES - FLUSH MOUNTED IN CEILINGS SHALL BE 4" SQUARE, 2-1/8" DEEP. FLUSH MOUNTED IN WALLS SHALL BE 4" SQUARE, 2-1/8" DEEP WITH PLASTER RING AND EXTENDERS AS REQUIRED.

FLOOR OUTLET BOXES SHALL BE ADJUSTABLE AND CONCRETE-TIGHT, CONSISTING OF A CAST-METAL BODY WITH THREADED OPENINGS FOR CONDUITS, ADJUSTABLE RING, BRASS FLANGE RING AND COVER PLATE.

DISCONNECT SWITCHES

DISCONNECT SWITCHES SHALL BE FURNISHED AS SHOWN ON THE DRAWINGS WITH VOLTAGE RATING. AMPERAGE RATING, AND NUMBER OF POLES AS INDICATED.

FUSES FOR FUSIBLE SWITCHES SHALL BE OF THE DUAL ELEMENT, REJECTION TYPE.

SWITCHES SHALL HAVE EXTERNAL SWITCH HANDLE. SWITCH AND DOOR SHALL BE INTERLOCKED SUCH THAT THE DOOR CAN NOT BE OPENED UNLESS THE SWITCH IS OPEN.

ALL DISCONNECT SWITCHES SHALL BEAR A LABEL "DO NOT OPEN SWITCH WHILE LOAD IS RUNNING".

WIRE

GROUNDING SYSTEM

ALL WIRE SHALL BE SINGLE CONDUCTOR, STRANDED, COPPER SIZED AS INDICATED ON THE DRAWINGS. MINIMUM SIZE SHALL BE #14 AWG FOR 15 AMP BRANCH CIRCUITS AND #12 AWG FOR 20 AMP BRANCH CIRCUIT.

MC CABLE MAY BE USED IN WALLS AND FOR FIXTURE WHIPS ONLY. NON-METALLIC CABLE (ROMEX) MAY BE USED IN WALLS AND ABOVE "HARD" CEILINGS, IF IT IS ACCEPTABLE TO LOCAL AUTHORITIES. ROMEX SHALL NOT BE ROUTED EXPOSED, OR ABOVE A LAY-IN CEILING.

SOLID WIRE MAY BE USED FOR #12 AND #10 AWG WIRE USED ON LIGHTING FIXTURES, RECEPTACLES AND SWITCHES ONLY.

INSULATION OF WIRE SHALL BE 75 DEGREES CELSIUS (THW), 600 VOLT MINIMUM. ALL CONDUIT SIZING IS BASED ON THE USE OF 'THW' WIRE. CONTRACTOR MAY USE THHN FOR LIGHTING AND RECEPTACLES AT HIS DISCRETION.

COLOR CODING OF WIRE FOR 208 VOLT SYSTEMS SHALL COMPLY WITH THE LOCAL REQUIREMENTS IF ANY. NEUTRAL CONDUCTORS SHALL BE WHITE AND EQUIPMENT GROUND CONDUCTORS SHALL BE GREEN. INSULATION COLOR SCHEMES SHALL BE DIFFERENT FOR 208 AND 480 VOLT SYSTEMS.

ALL WIRING IN PANELS SHALL BE NEATLY LABELED WITH THE CIRCUIT NUMBER. THIS ALSO APPLIES TO NEUTRAL CONDUCTORS. NEUTRAL CONDUCTORS THAT ARE ASSOCIATED WITH MORE THAN ONE PHASE CONDUCTOR SHALL BEAR THE CIRCUIT NUMBER OF ALL CIRCUITS.

ANY WIRING RUN EXPOSED IN AN AIR HANDLING PLENUM SPACE SHALL BE RATED FOR USE IN "AIR HANDLING PLENUM".

INSTALL A COMPLETE GROUNDING SYSTEM IN ACCORDANCE WITH NEC AND THESE SPECIFICATIONS.

GROUNDING SYSTEM SHALL BE ELECTRICALLY CONTINUOUS THROUGHOUT.

INSTALL A #2/0 BARE COPPER CONDUCTOR (UNO) CONNECTED TO 3/4" X 10' COPPER GROUND ROD AND TIED TO GROUND BUS OF SERVICE ENTRANCE PANEL (OR DISCONNECT).

STRUCTURAL STEEL AND CONCRETE REBAR SHALL BE CONNECTED TO THE SERVICE ENTRANCE PANEL, IF AVAILABLE.

TIE GROUND BUS OF SERVICE ENTRANCE EQUIPMENT TO METALLIC INCOMING WATER LINE WITH #2/0 BARE COPPER CONDUCTOR. PROVIDE JUMPER AROUND WATER METER IF REQUIRED.

CONTRACTOR SHALL PROVIDE A PROPERLY SIZED, GREEN COLORED INSULATED GROUNDING CONDUCTOR IN ALL CONDUITS. THIS CONDUCTOR IS NOT INDICATED IN THE HASH MARKS ON THE CONDUIT RUNS.

LIGHTING FIXTURE SCHEDULE										
TYPE	DESCRIPTION	MANUFACTURER	LAMPS	WATTS	VOLTS					
A	2x4 LAY-IN FIXTURE	LITHONIA LIGHTING 2GTL4-4OL-RW-A12125-120-EZ1-LP850	LED	30	120					
В	6" RECESSED CAN LIGHT	PRESCOLITE LIGHTING LC6SL-6LCSL14L35K9WT	LED	18	120					
С	1x4 LAY-IN FIXTURE	LITHONIA LIGHTING RTLX440LE21LP835	LED	41	120					
CEX	COMBINATION EMERGENCY LIGHT/EXIT SIGN WITH LED ILLUMINATION, INTEGRAL BATTERY BACK-UP	LITHONIA ECR LED HO	BY MFG	3.8	120					
EM	TWO LAMP LED EMERGENCY LIGHT, INTERNAL BATTERY	SURE-LITES SEL17	LED BY MFG	3.6	120					
EX	EXIT LIGHT, INTERNAL NI-Cd BATTERY UNIVERSAL MOUNTING	COOPER APX7-R	BY MFG	3	120					
REM	DECORATIVE OUTDOOR REMOTE EGRESS LIGHT. 2-HEADS. UL WET LOCATION LISTED.	DUAL LITE OCR SERIES	BY MFG	10	6					

ELECTRICAL LEGEND
20A, 125V, 2 POLE, 3 WIRE, GROUNDING DUPLEX RECEPTACLE, MTD. 18" AFF, UNO. "U" INDICATES DEVICE WITH USB CHARGING POINT
20A, 125V, 2 POLE, 3 WIRE, GROUNDING DUPLEX RECEPTACLE, MTD. 42" AFF, UNO.
20A, 125V, 2 POLE, 3 WIRE, GROUNDING QUAD RECEPTACLE, TWO GANG BOX, MTD. 42" AFF, UNO.
20A, 125V, 2 POLE, 3 WIRE, GROUNDING QUAD RECEPTACLE, TWO GANG BOX, MTD. 48" AFF, UNO.
20A, 250V, 3 POLE, 3-WIRE GROUNDING, SINGLE RECEPTACLE, NEMA 15-20R
20A, 250V, 3 POLE, 3-WIRE GROUNDING, SINGLE RECEPTACLE, NEMA 15-30R
20A, 250V, 3 POLE, 3-WIRE GROUNDING, CEILING MOUNTED, NEMA 15-20R RECEPTACLE OUTLET, PROVIDE DROP CORD WITH STRAIN RELIEF GRIPS ON BOTH ENDS IN KITCHENS, DEVICE SHALL BE AT 6' A.F.F.
20A, 125V, 2 POLE, 3-WIRE GROUNDING, CEILING MOUNTED, DUPLEX RECEPTACLE OUTLET, PROVIDE DROP CORD WITH STRAIN RELIEF GRIPS ON BOTH ENDS IN KITCHENS, DEVICE SHALL BE AT 6' A.F.F.
COMBINATION PHONE AND DATA OUTLET. PROVIDE 4" SQUARE BOX WITH SINGLE GANG DEVICE RING. STUB 1" CONDUIT WITH PULLSTRING FROM BOX TO LOCATION ABOVE ACCESSIBLE CEILING AS INDICATED ON DRAWINGS. PROVIDE BUSHING ON OPEN END OF CONDUIT. MOUNTED 18" AFF, UNO, STUB UP 12" ABOVE CEILING
COMBINATION PHONE AND DATA OUTLET. PROVIDE 4" SQUARE BOX WITH SINGLE GANG DEVICE RING. STUB 1" CONDUIT WITH PULLSTRING FROM BOX TO LOCATION ABOVE ACCESSIBLE CEILING AS INDICATED ON DRAWINGS. PROVIDE BUSHING ON OPEN END OF CONDUIT. MOUNTED 42" AFF, UNO, STUB UP 12" ABOVE CEILING
ELECTRICAL PANEL, REFER TO PANEL SCHEDULE FOR DETAILS.
DISCONNECT SWITCH, GIVEN - AMPERE RATING/NO. OF POLES/NEMA_ENCLOSURE/FUSE SIZE. VOLTAGE RATING OF SWITCH SHALL BE AS REQUIRED FOR THE SERVICE.
WALL MOUNTED SCONCE LIGHT FIXTURE. SEE FIXTURE SCHEDULE FOR DETAILS
WALL PACK. SEE FIXTURE SCHEDULE FOR DETAILS
JUNCTION BOX
TOGGLE SWITCH, 20 AMPERE, SINGLE POLE, 120-277 VOLTS.
OCCUPANCY SWITCH
THREE WAY TOGGLE SWITCH, 20 AMPERE, 120-277 VOLTS.

ABBREVIATIONS							
AFF	ABOVE FINISHED FLOOR	MCB	MAIN CIRCUIT BREAKER				
AFG	ABOVE FINISHED GRADE	MFR	MANUFACTURER				
AC	ABOVE COUNTER HEIGHT	NL	NIGHTLIGHT				
AL	ALUMINUM	NTS	NOT TO SCALE				
BKR	BREAKER	PH	PHASE				
CU	COPPER	PNL	PANEL				
СКТ	CIRCUIT	P	POLES				
D	DEDICATED OUTLET	SW	SWITCH				
DWG	DRAWING	UNO	UNLESS NOTED OTHERWISE				
EWC	ELECTRIC WATER COOLER	UH	UNIT HEATER				
FU	FUSE	UGND	UNDERGROUND				
FWE	FURNISHED WITH EQUIPMENT	W/	WITH				
G	GROUND FAULT INTERRUPTER	WH	WATER HEATER				
IG	ISOLATED GROUND	WP	WEATHERPROOF				
MLO	MAIN LUGS ONLY	WR	WEATHER RESISTANT				
		XFMR	TRANSFORMER				

2 \cap A \cap

1 Electrical Demo Plan - 1st Floor 3/16" = 1'-0"

LEGEND: $\square \square \square \square$ ELECTRICAL PANELS TO BE REMOVED

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 $1 \frac{\text{Lighting DemoPlan - 1ST Floor}}{3/16" = 1'-0"}$

POWER NOTES:

- 1. ALL OUTLETS AND EQUIPMENT SHALL BE WIRED TO PANEL CIRCUIT INDICATED ON PLAN, UNLESS NOTED OTHERWISE.
- 2. CONFIRM EXACT LOCATION OF ALL OUTLETS, SWITCHES AND EQUIPMENT PRIOR TO ROUGH-IN. ELECTRICAL CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS PRIOR TO WIRE PULL.
- 3. ALL POWER WIRING SHALL BE ROUTED IN CONDUIT SUITABLE FOR THE AREA THROUGH WHICH IT IS ROUTED.
- 4. ALL BRANCH CIRCUIT WIRING SHALL BE #12 AWG UNLESS NOTED OTHERWISE. QUANTITY OF WIRES SHALL BE AS REQUIRED TO ACCOMPLISH THE CIRCUITRY AND SWITCHING INDICATED.
- 5. ELECTRICAL CONTRACTOR SHALL ROUTE HOMERUNS AS ECONOMICALLY AS POSSIBLE. ALL ASPECTS OF THE NATIONAL ELECTRICAL CODE SHALL BE ADHERED TO IN REGARD TO CONDUIT FILL AND DERATING OF WIRE.
- 6. COLOR OF OUTLETS, SWITCHES AND COVER PLATES SHALL BE AS DIRECTED BY ARCHITECT OR OWNER.
- 7. ALL ASPECTS OF THE NATIONAL ELECTRICAL CODE, 2017 EDITION SHALL BE ADHERED TO.
- 8. REFER TO DWG. E001 FOR PANEL SCHEDULES AND SPECS.
- 9. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS, DIMENSIONS INTERFERENCES , ETC.
- 10. COORDINATE INSTALLATION OF ELECTRICAL SYSTEM WITH GENERAL CONTRACTOR AND SUB-CONTRACTORS.
- 11. ANY 20 AMP, 120 VOLT CIRCUIT OVER 75' MUST BE #10 AWG.
- 12. PROVIDE 120V RECEPTACLE AND 100W KEYLESS INCANDESCENT LIGHT FIXTURE LOCATED AT HVAC AIR HANDLING UNIT IN ATTIC SPACE. CONNECT TO NEAREST NON-DEDICATED 120V CIRCUIT IN AREA. PROVIDE LIGHT SWITCH NEAR ATTIC ACCESS DOOR. COORDINATE LOCATIONS WITH OWNER.
- 13. EXITING RECEPTACLES NOT SHOWN ON THIS DRAWING AND NOT DEMOLISHED WITH A WALL SHALL BE DEMOLISHED.

POWER KEYED NOTES

- (1) EXISTING RECEPTACLES TO REMAIN
- 2 AIR HANDLING UNITS INSTALLED IN ATTIC. SEE MECHANICAL DRAWINGS FOR EXACT LOCATION.
- (3) JUNCTION BOX INSTALLED IN ATTIC FOR LIGHTING FOR AC UNIT. EXACT LOCATION TO BE DETERMINED BY ELECTRICAL CONTRACTOR.
- (4) RECEPTACLES ON MASONRY WALLS TO BE INSTALLED IN SHALLOW BOX NOT TO EXCEED 1 1/2" IN DEPTH.
- 5 JUNCTION BOX INSTALLED AT 3' 6" AFF. SEE NETWORK ACCESS CONTROL MOUNTING DETAIL ON DWG E201.

RECEPTACLES ON WALLS TO BE DEMOLISHED WILL BE REMOVED AND CIRCUITS PULLED BACK TO PANEL.

PANELS B1, B2, K1, AND L1 WILL BE REMOVED. THE RECEPTACLES AND EQUIPMENT SHOWN ON THE POWER PLAN HAVE BEEN RECIRCUITED TO PANEL "L2" AS INDICATED ON DRAWING E101.

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LIGHTING NOTES:

- 1. CONFIRM EXACT LOCATION OF ALL SWITCHES PRIOR TO ROUGH-IN. ELECTRICAL CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS.
- 2. ALL BRANCH CIRCUIT WIRING SHALL BE #12 AWG UNLESS NOTED OTHERWISE. QUANTITY OF WIRES SHALL BE AS REQUIRED TO ACCOMPLISH THE CIRCUITRY AND SWITCHING INDICATED.
- 3. ELECTRICAL CONTRACTOR SHALL ROUTE HOMERUNS AS ECONOMICALLY AS POSSIBLE. ALL ASPECTS OF THE NATIONAL ELECTRICAL CODE SHALL BE ADHERED TO IN REGARD TO CONDUIT FILL AND DERATING OF WIRE.
- 4. ALL LIGHTING FIXTURES ON THIS PLAN SHALL BE WIRED TO PANEL 'L2' AND CIRCUIT INDICATED, UNLESS NOTED OTHERWISE.
- 5. ALL NIGHT LIGHTS AND EMERGENCY LIGHTING SHALL BE WIRED TO SAME CIRCUIT AS LOCAL AREA LIGHTING, EXCEPT AHEAD OF ALL LOCAL SWITCHES.
- 6. ALL EXIT SIGNS AND EMERGENCY LIGHTING FIXTURES SHALL BE SUPPLIED WITH BATTERY
- 7. EMERGENCY LIGHTS AND EXIT SIGNS SHOWN ARE CONSIDERED A MINIMUM. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH LOCAL AUTHORITIES AND ADD ADDITIONAL FIXTURES IF REQUIRED.
- 8. ELECTRICAL CONTRACTOR SHALL CONFIRM EXACT MOUNTING METHOD OF ALL LIGHT FIXTURES AND PROVIDE ALL NECESSARY HARDWARE.
- 9. ALL ASPECTS OF THE NATIONAL ELECTRICAL CODE, 2017 EDITION SHALL BE ADHERED TO.
- 10. REFER TO DWG. E3.0 FOR RISER DIAGRAM AND PANEL SCHEDULES.

BACK-UP FOR EMERGENCY POWER.

- 11. COORDINATE INSTALLATION OF ELECTRICAL SYSTEM WITH GENERAL CONTRACTOR AND SUB CONTRACTORS.
- 12. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS , DIMENSIONS INTERFERENCES , ETC.
- 13. COLOR OF OUTLETS, SWITCHES AND COVER PLATES TO BE AS DIRECTED BY THE ARCHITECT OR
- OWNER.
- 14. ANY 20 AMP, 120 VOLT CIRCUITS OVER 75' MUST BE #10 AWG.
- 15. ANY 20 AMP, 277 VOLT CIRCUITS OVER 75' MUST BE #10 AWG.

 $\frac{\text{Lighting Notes}}{3/16" = 1'-0"}$

Branch Panel: MDP Location: Space 51

Supply From: Mounting: Surface Enclosure: Type 1

Volts:	120/208 Wye
Phases:	3
Wires:	4

A.I.C. Rating: Mains Type: MCB Mains Rating: 800 A MCB Rating: 800 A

СКТ

10 12

14 16 18

20 22

24 26 28

30 32 34

36 38

40 42

OKT	Oinsuit Descuintier	Taia	Dalas				-		•	Dalas	Tuin	Oimentik D		01
	Circuit Description	Irip	Poles		A		B			Poles	Irip	Circuit D	escription	CK
3	PANEL B1 (TO BE BEMOVED)	500 A	3			0 VA	0 VA			3	225 A	Spare		4
5								0 VA	0 VA					6
7				2191	0 VA				0 1/1					8
9	PANEL MEP	400 A	3			2042	0 VA					Space		1(
11								1739	0 VA			Space		12
13				9389	0 VA							Space		14
15	PANEL L2	225 A	3			1058	0 VA					Space		16
17						_		9809	0 VA			Space		18
19				0 VA										20
21														22
23														24
25														26
27														28
29														30
31														32
33														34
35										_				36
37														38
39														4(
41														42
		Tota	al Load:	3130)2 VA	3100	05 VA	2720)5 VA					
Legend	•	Iota	i Amps:	26	6 A	26	3 A	22	/ A					
	-													
Load C	assification	Con	nected	Load	De	mand Fa	ctor	Estin	nated De	emand		Panel	Totals	
Spare			89512 V	A		100.00%	0		89512 V	A				
												Total Conn. Load:	89512 VA	
												Total Est. Demand:	89512 VA	
												Total Conn.:	248 A	
												Total Est. Demand:	248 A	
Natas														
Notes:														

	Branch Panel: L2 Location: Space 51 Supply From: MDP Mounting: Bacassed					Volts: Phases: Wiros:	120/208 3 4	Wye				A.I.C. Rating: Mains Type: MLO
	Enclosure: Type 1					WIICS.	7					MCB Rating: 225 A
Notes:												
СКТ	Circuit Description	Trip	Poles		A		В		C	Poles	Trip	Circuit Description
1	Receptacle - 106C,106B,106	20 A	1	900 VA	614 VA					1	20 A	Lighting - 106,106A,B,C,D,E,F,G,107
3	Receptacle - 106A, 106G	20 A	1			720 VA	466 VA			1	20 A	Lighting - 107, 107C, EF-06
5	Receptacle - CONF. RM (103) STOR (104)	20 A	1					1260	499 VA	1	20 A	Lighting - 121D,121, 121C, 121A, 12
7	Receptacle - ASSEMBLY 107	20 A	1	1440	1036					1	20 A	Lighting - 116,117,119,122,123,124,
9	Receptacle - 106, 106D, 106E, 106F, 106G	20 A	1			1260	766 VA			1	20 A	Lighting-109,114,
11	Receptacle - 111, 112	20 A	1					1080	780 VA	1	20 A	Lighting - 118, 113, 112, 111, 110, 1
13	Receptacle - 121D, 121B, 120, 107C	20 A	1	900 VA	543 VA					1	20 A	Lighting - 102, 103, 104, 105, 137, 1
15	Receptacle - 121E, 121, 121C, 121A	20 A	1			1440	1200			1	20 A	Receptacle - Refrigerator (Break Roo
17	Receptacle - 116, 122	20 A	1					720 VA	1200	1	20 A	Receptacle - Microwave (Break Roon
19	Receptacle - 118,119,123,128	20 A	1	1260	500 VA					1	20 A	Receptacle - Copier (Work Room 10
21	Receptacle - 124, 125, 126, 127	20 A	1			1440	500 VA			1	20 A	EWC (Circulation 109)
23	Receptacle - 108, 110, 113	20 A	1					1080	720 VA	1	20 A	Receptacle - Plumbing Fixtures
25	Receptacle - 131, 133, 135	20 A	1	900 VA	800 VA					1	20 A	Junction Box - Attic Lights
27	Receptacle - 109, 122	20 A	1			900 VA	500 VA			1	20 A	Receptacle - Copier (Work Room 11
29	Receptacle - 115, 130, 114, 132, 134	20 A	1					1620	800 VA	1	20 A	Junction Box - Door Access Card Re
31	Receptacle - PUBLIC LOBBY (101)	20 A	1	360 VA	144 VA					1	20 A	Lighting - Exterior Covered Entry
33	Receptacle - 102, 138, 136	20 A	1			1260	72 VA			1	20 A	EXterior Lighting - West side
35	Exterior Lighting - East side	20 A	1					54 VA	0 VA	1	20 A	Spare
37	Other	20 A	1	0 VA	0 VA					1	20 A	Spare
39	Spare	20 A	1			0 VA	0 VA			1	20 A	Spare
41	Spare	20 A	1					0 VA	0 VA	1	20 A	Spare
		Tot	al Load:	938	9 VA	1052	21 VA	980	9 VA			
Legen	d:	1018	u Amps:	/ 2	D A	00	D A	02	<u> </u>			
Load C	Classification	Con	nected I	Load	Der	nand Fa	ctor	Estin	nated De	mand		Panel Totals
Cooling]		120 VA			100.00%	>		120 VA			
Lighting	g - Dwelling Unit		381 VA			100.00%	>		381 VA			Total Conn. Load: 29718 VA
Other			0 VA			0.00%			0 VA			Total Est. Demand: 23139 VA

71.59%

100.00%

100.00%

23160 VA

1600 VA

4500 VA

16580 VA

1600 VA

4500 VA

Receptacle Power

Lighting

Notes:

Branch Panel: MEP

Location: Space 51 Supply From: MDP Mounting: Recessed Enclosure: Type 1

Volts: 120/208 Wye Phases: 3 Wires: 4

Notes:

СКТ	Circuit Description	Trip	Poles		4		В		Pole	
1	CU-1 (EXISTING)	60 A	2	3952	1265					1
3						3952	920 VA			1
5	CU-2 (EXISTING)	15 A	2					1144	1265	1
7				1144	1265					1
9	CU-3 (EXISTING)	60 A	2			3952	1265			1
11								3952	1495	1
13	CU-4 (EXISTING)	60 A	2	3952	1495					1
15						3952	1495			1
17	CU-5 (EXISTING)	60 A	2					3952	180 VA	1
19				3952						
21	CU-6 (EXISTING)	45 A	2			2704				
23								2704		
25	CU-7 (EXISTING)	35 A	2	2184						
27						2184				
29	CU-8 (EXISTING)	45 A	2					2704		
31				2704						
33										
35										
37										
39										
41										
	Tota		al Load: 21913 VA		3 VA	20424 VA		1739	6 VA	
		Total Am				174 A		145 A		I

Load Classification	Connected Load	Demand Factor	Estimated Demand
Receptacle	180 VA	100.00%	180 VA
Power	59553 VA	100.00%	59553 VA

Notes:

Total Conn.: 82 A

Total Est. Demand: 64 A

A.I.C. Rating: Mains Type: MLO Mains Rating: 100 A MCB Rating: 400 A

Trip	Circuit Description	СКТ
15 A	GF-01 (EXISTING)	2
15 A	GF-02 (EXISTING)	4
15 A	GF-03 (EXISTING)	6
15 A	GF-04 (EXISTING)	8
20 A	GF-05 (EXISTING)	10
20 A	GF-06 (EXISTING)	12
20 A	GF-07 (EXISTING)	14
20 A	GF-08 (EXISTING)	16
20 A	Receptacle - HW Circulation Pump	18
		20
		22
		24
		26
		28
		30
		32
		34
		36
		38
		40
		42

Panel Totals Total Conn. Load: 59733 VA Total Est. Demand: 59733 VA Total Conn.: 166 A Total Est. Demand: 166 A

