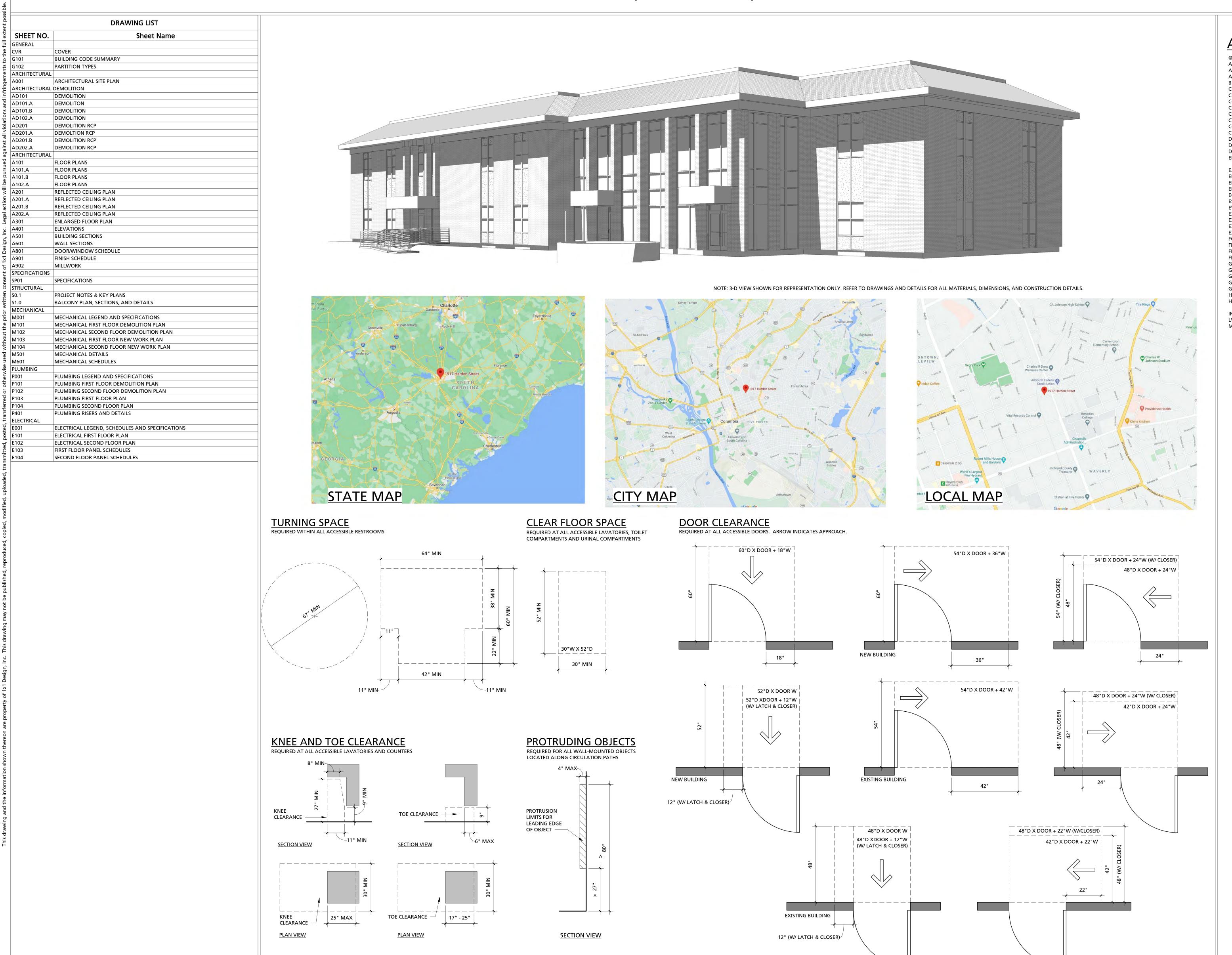
COLUMBIA HOUSING AUTHORITY

COLUMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENOVATION

1917 HARDEN STREET, COLUMBIA, SOUTH CAROLINA 29204

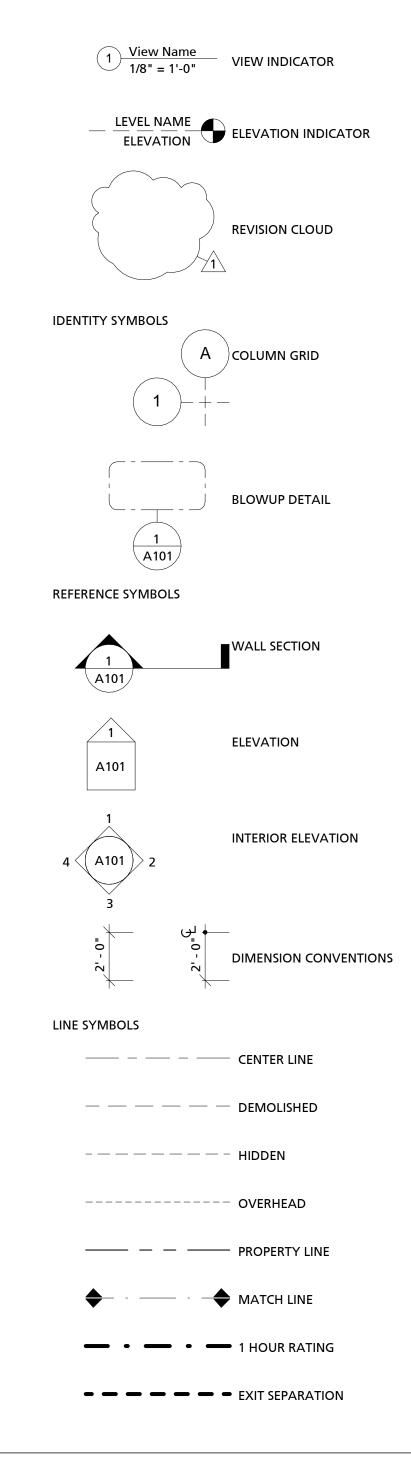


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ABBREVIATIONS AFF ABOVE FINISH FLOOR MFR MANUFACTURER APC ACOUSTICAL PANEL CEILING ARCH ARCHITECTURAL METAL PANEL CL CENTERLINE CLR CLEAR CO CASED OPENING CONTROL JOINT ON CENTER OPPOSITE CTR CENTER OPNG OPENING CONC CONCRETE CMU CONCRETE MASONRY UNIT PEMB PRE ENGINEERED METAL BUILDING PLASTIC LAMINATE DS DOWNSPOUT PORCELAIN TILE DWG DRAWING PORCELAIN TILE BASE EIFS EXTERIOR INSULATION AND PRESSURE TREATED WOOD PWDR POWDER ROOM EXPANSION JOINT RUBBER BASE EL ELEVATION REQD REQUIRED ELEC ELECTRICAL RD ROOF DRAIN ELEV ELEVATOR RMA RESILIENT MOLDING ACCESSORIES EQUIP EQUIPMENT SEALED CONCRETE ES EDGE STRIP SQUARE FEET EWC ELECTRIC WATER COOLER SIMILAR SPEC SPECIFICATIONS SOLID SURFACES STUCCO STD STANDARD STW STAIN WOOD TOS TOP OF STEEL GENERAL CONTRACTOR UNO UNLESS NOTED OTHERWISE EXTERIOR GLAZING VIF VERIFY IN FIELD GLASS TILE GWB GYPSUM BOARD WCO WALL CLEANOUT HM HOLLOW METAL WWF WELDED WIRE FABRIC HVAC HEATING, VENTILATION, AIR-XB X-BRACING CONDITIONING XTR EXISTING TO REMAIN INSUL INSULATION LVT LUXURY VINYL TILE MAX MAXIMUM

DRAWING CONVENTIONS



No. Description Date

COVER

BUILDING CODE SUMMARY PROJECT DESCRIPTION THE SCOPE OF WORK INCLUDES THE INTERIOR RENOVATION OF AN EXISTING (B) BUSINESS OFFICE BUILDING, ADDITION OF TWO NEW EXTERIOR EXITS ON FIRST FLOOR, AND ADDITON OF A NEW EXTERIOR RAMP. THE CONSTRUCTION WILL BE PHASED AS NOTED. OTHER PORTIONS OF THE BUILDING WILL REMAIN FULLY OCCUPIED DURING CONSTRUCTION OF EACH PHASE. STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DESIGN IS UNDER SEPARATE CONTRACT WITH THE OWNER, BUT COORDINATED AND INCLUDED IN THIS SET FOR REFERENCE. 1X1 DESIGN IS NOT UNDER CONTRACT TO PROVIDE CONSTRUCTION ADMINISTRATION SERVICES. PROJECT INFORMATION NAME OF PROJECT: COLUMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENOVATION ADDRESS: 1917 HARDEN STREET, COLUMBIA, SOUTH CAROLINA 29204 EXISTING OR PREVIOUS USE: (B) BUSINESS, OFFICE BUILDING PROPOSED USE: (B) BUSINESS, OFFICE BUILDING OWNER OR AUTH.. AGENT: ADAM DALENBURG CONTACT INFO: 803.254.3886; ADALENBURG@COLUMBIAHOUSINGSC.ORG OWNED BY: **COLUMBIA HOUSING AUTHORITY** CODE ENFORCEMENT CITY OF COLUMBIA JURISDICTION: **PROJECT DESIGN TEAM INFORMATION** LEAD DESIGN PROFESSIONAL: 1X1 DESIGN, INC. DESIGNER FIRM CONTACT LICENSE # PHONE # ASHELEY SCOTT ST. JOHN (803) 834-4048 ARCHITECTURAL: 1X1 DESIGN, INC. H2L CONSULTING ENGINEERS STRUCTURAL: MECHANICAL: H2L CONSULTING ENGINEERS PLUMBING: H2L CONSULTING ENGINEERS FIRE-PROTECTION/STANDPIPE: H2L CONSULTING ENGINEERS -ELECTRICAL: FIRE ALARM: OTHER: GENERAL CONTRACTOR: CODE COMPLIANCE INTERNATIONAL BUILDING CODE: 2018 EDITION WITH SOUTH CAROLINA MODIFICATIONS INTERNATIONAL MECHANICAL CODE: 2018 EDITION INTERNATIONAL PLUMBING CODE: 2018 EDITION NATIONAL ELECTRICAL CODE: 2018 EDITION **CLIMATE ZONE: 3** 2009 EDITION ICC/ANSI - 117.1: 2017 EDITION AMERICAN WITH DISABILITIES ACT (ADA) BASIC BUILDING DATA **CONSTRUCTION TYPE:** V-B (EXISTING) SPRINKLERS: **STANDPIPES:** FIRE DISTRICT: FLOOD HAZARD AREA: **GROSS BUILDING AREA:** FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL (SQ FT) FIRST FLOOR 9879 9879 SECOND FLOOR 8962 124 18,841 TOTAL 124 18,965 **ALLOWABLE AREA** (B) BUSINESS PRIMARY OCCUPANCY: SECONDARY OCCUPANCY: (A-3) BOARD ROOM - 929 SF / 9879 SF = 9.4%, WHICH IS < 10% PER SECTION 508.2.3 ACCESSORY OCCUPANCY: INCIDENTAL USE (TABLE 509): SPECIAL USE (CHAPTER 4): SPECIAL PROVISIONS: SEPARATION: NA EXCEPTION: 508.2.4 MIXED OCCUPANCY: INCIDENTAL USE SEPARATION (509): NO THIS AREA IS NOT EXEMPT AS A NON-SEPARATED USE (SEE EXCEPTIONS) NON-SEPARATED MIXED OCCUPANCY (508.3) The required type onstruction for the building shall be determined by applying the height and area limitations for each of the cupancies for the entire building. The most restrictive type of construction, so determined shall apply to the cupancies for the entire building.

BUILDING DESCRIPTION & USE	(a) (A _t) TABLE 506.2 AREA NS	(b) (NS) TABLE 506.2 NON-SPRINKLERED BUILDING AREA	(c) (I _f) SECTION 506.3 FACTOR INCREASE FOR OPEN SPACE	(d) (S _a) BUILDING STORIES	(e) (A₃) MAXIMUM BUILDING AREA OR UNLIMITED	(f) ACTUAL BUILDING AREA
V-B, (B) BUSINESS, MULTIFLOOR, UN/SPRINKLERED	9,000	9,000	0.25	2	22,500	18,965
			I _f = [F / P - 0.25]W/30		$A_a = [A_t + (NS \times I_f)] \times S$	a

Building perimeter fronting public way or open space having 20ft min width: F = 251'-8" $A_a = [9,000 + (9,000 \times 0.25)] \times 2$ $A_a = [11,250] \times 2$ Total building perimeter: P = 503'-6" Minimum width of public way: W = 30'-0" $A_a = 22,500$

ALLOWALLE AREA OF OCCUPANCY A

 $I_f = [0.5 - 0.25]30/30$

SEPARATED MIXED OCCUPANCY (50° Liow for area calculation for each story, the area of the occupancy shall be such that the sum of the ratios for area of each use divided by the allowable floor area for each use shall not exceed 1.

ACTUAL AREA OF OCCUPANCY B

ALLOWABLE AREA OF OCCUPANCY B

 $I_f = 0.25$

ALLOWABLE HEIGHT

	ALLOWABLE (TABLE 504.3, 504.4, 506.2)	SHOWN ON PLANS	CODE REFERENCE
TYPE OF CONSTRUCTION	TYPE: V-B (EXISTING)	TYPE: V-B (EXISTING)	
BUILDING HEIGHT (FT)	+/- 38 FEET (EXISTING)	+/- 38 FEET (EXISTING)	
BUILDING HEIGHT (STORIES)	2 STORIES (EXISTING)	2 STORIES (EXISTING)	

DESIGN OCCUPANT LOAD (TABLE 1004.1.2)

FUNCTION OF SPACE	FLOOR AREA	AREA O	N PLANS P	ER FLOOR							TOTAL
	IN SQ FT PER OCCUPANT	1	2	3	4	5	6	7	8	TOTAL AREA (SF)	OCCUPANTS PER FUNCTION
ASSEMBLY - CONCENTRATED	7 NET	255	0							255	36.4
ASSEMBLY - UNCONCENTRATED	15 NET	929	0							929	61.9
BUSINESS AREAS	150 SF	3,308	5,197							8,505	56.7
STORAGE AREAS	300 SF	416	372							788	2.6
NON-OCCUPIED	NA	4,971	3,517							8,478	0
TOTAL		9,879	9,086							18,965	157.6 = 158 OCC -
											(79 M, 79 F)

FIRE PROTECTION REQUIREMENTS

BUILDING ELEMENT	FIRE	RA	TING	DETAIL # AND	DESIGN # FOR	DESIGN # FOR	DESIGN # FOR
	SEPARATION DISTANCE (FEET)	REQ'D	PROVIDED W/* REDUCTION	SHEET #	RATED ASSEMBLY	RATED PENETRATION	RATED JOINTS
STRUCTURAL FRAMES, INCLUDING COLUMNS, GIRDERS, TRUSSES		NA					
BEARING WALLS:							
EXTERIOR							
NORTH							
EAST							
WEST							
SOUTH							
INTERIOR							
NONBEARING WALLS AND PARTITIONS							
EXTERIOR WALLS							
NORTH	10 ≤ X < 30	0 HOUR	1 HOUR (XTR)				
EAST	X ≥ 30	0 HOUR	1 HOUR (XTR)				
WEST	X ≥ 30	0 HOUR	1 HOUR (XTR)				
SOUTH	X ≥ 30	0 HOUR	1 HOUR (XTR)				
INTERIOR WALLS & PARTITIONS							
FLOOR CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS		0 HOUR	1 HOUR (XTR)				
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS		0 HOUR	0 HOUR (XTR)				
SHAFT ENCLOSURES-EXIT		1 HOUR	1 HOUR (XTR)				
SHAFT ENCLOSURES-OTHER		1 HOUR	1 HOUR (XTR)				
CORRIDOR SEPARATION		NA					
OCCUPANCY SEPARATION		NA					
PARTY/FIRE WALL SEPARATION		NA					
SMOKE BARRIER SEPARATION		NA					
TENANT SEPARATION		NA					
INCIDENTAL USE SEPARATION		NA					

FIRE PROTECTION REQUIREMENTS

EMERGENCY LIGHTING:	YES	NOTE: PER 2018 INTERNATIONAL FIRE CODE SECTION 509.1, DOORS TO ROOMS
EXIT SIGNS:	YES	CONTAINING FIRE PROTECTION EQUIPMENT, CONTROLS FOR AIR CONDITIONING SYSTEMS, SPRINKLER RISERS, AND VALVES, OR OTHER FIRE DETECTION, SUPPRESSION,
FIRE ALARM:	NO	OR CONTROL ELEMENTS, SHALL BE IDENTIFIED FOR THE USE OF THE FIRE DEPARTMENT
SMOKE DETECTION SYSTEMS:	NO	WITH DURABLE MATERIALS, PERMANENTLY INSTALLED, AND READILY VISIBLE. INSTALL "SPRINKLER RISER ROOM" AND "FIRE ALARM CONTROL PANEL" SIGNS.
PANIC HARDWARE	NO	

LIFE SAFETY PLAN REQUIREMENTS

LIFE SAFETY PLAN SHEET #: LIFE SAFETY

1 1 12 (14 311221 //.	<u> </u>	
Y PLAN INFORMA	ATION:	
INCLUDED	N/A FOR PROJE	СТ
		FIRE AND/OR SMOKE RATED WALL LOCATIONS (CHAPTER 7)
		ASSUMED AND REAL PROPERTY LINES LOCATIONS
		EXTERIOR WALL OPENING AREA WITH RESPECT TO DISTANCE TO ASSUMED PROPERTY LINES (705.8)
		EXISTING STRUCTURES WITHIN 30' OF PROPOSED BUILDING
		OCCUPANCY TYPES FOR AREA AS IT RELATES TO OCCUPANT LOAD CALCULATIONS (TABLE 1004.1.2)
		OCCUPANT LOADS FOR EACH AREA
		EXIT ACCESS TRAVEL DISTANCES (1017)
		COMMON PATH OF TRAVEL DISTANCES (1006.2.1 & 1029.8)
		DEAD END LENGTHS (1020.4)
		CLEAR EXIT WIDTH FOR EACH EXIT DOOR
		MAXIMUM OCCUPANT LOAD CAPACITY EACH EXIT DOOR CAN ACCOMMODATE BASED ON EGRESS WIDTH (1005
		ACTUAL OCCUPANT LOAD FOR EACH EXIT DOOR
		SEPARATE SCHEMATIC PLAN INDICATING WHERE FIRE RATED FLOOR/CEILING AND/OR ROOF STRUCTURE IS PROVIDED FOR PURPOSES OF OCCUPANCY SEPARATION
		LOCATION OF DOORS WITH PANIC HARDWARE (1010.1.10)
		LOCATION OF DOORS WITH DELAYED EGRESS LOCKS AND AMOUNT OF DELAY (1010.1.10)
		LOCATION OF DOORS WITH ELECTROMAGNETIC EGRESS LOCKS (1010.1.9.7)
		LOCATION OF DOORS EQUIPPED WITH HOLD-OPEN DEVICES
		LOCATION OF EMERGENCY ESCAPE WINDOWS (1030)
		THE SQUARE FOOTAGE OF EACH FIRE AREA (901.7, 903)
		THE SQUARE FOOTAGE OF EACH SMOKE COMPARTMENT (407.5)
		NOTE ANY CODE EXCEPTIONS OR TABLE NOTES THAT MAY HAVE BEEN UTILIZED REGARDING THE ITEMS ABOVE:

EXIT REQUIREMENTS NUMBER AND ARRANGEMENT OF EXITS

FLOOR, ROOM OR SPACE	MINIMUM NUMB	ER OF EXITS ²	TRAVEL DISTANCE	:	ARRANGEMENTS MEANS OF EGRESS (SECTION 1007.1.1) 1,3		
	REQ'D	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1017.2)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS	
FIRST FLOOR	2	6	200' - 0"	83' - 0"	95' - 5 1/2"	103' - 3"	
SECOND FLOOR	2	2	200' - 0"	131' - 6"	95' - 5 1/2"	72' - 2"	

¹ Corridor dead ends (section 1020.4) ² Single exits (from spaces - table 1006.2.1; from story - tables 1006.3.1 and 1006.3.2(2)) ³ Common path of travel (table 1006.2.1)

NOTES: NA

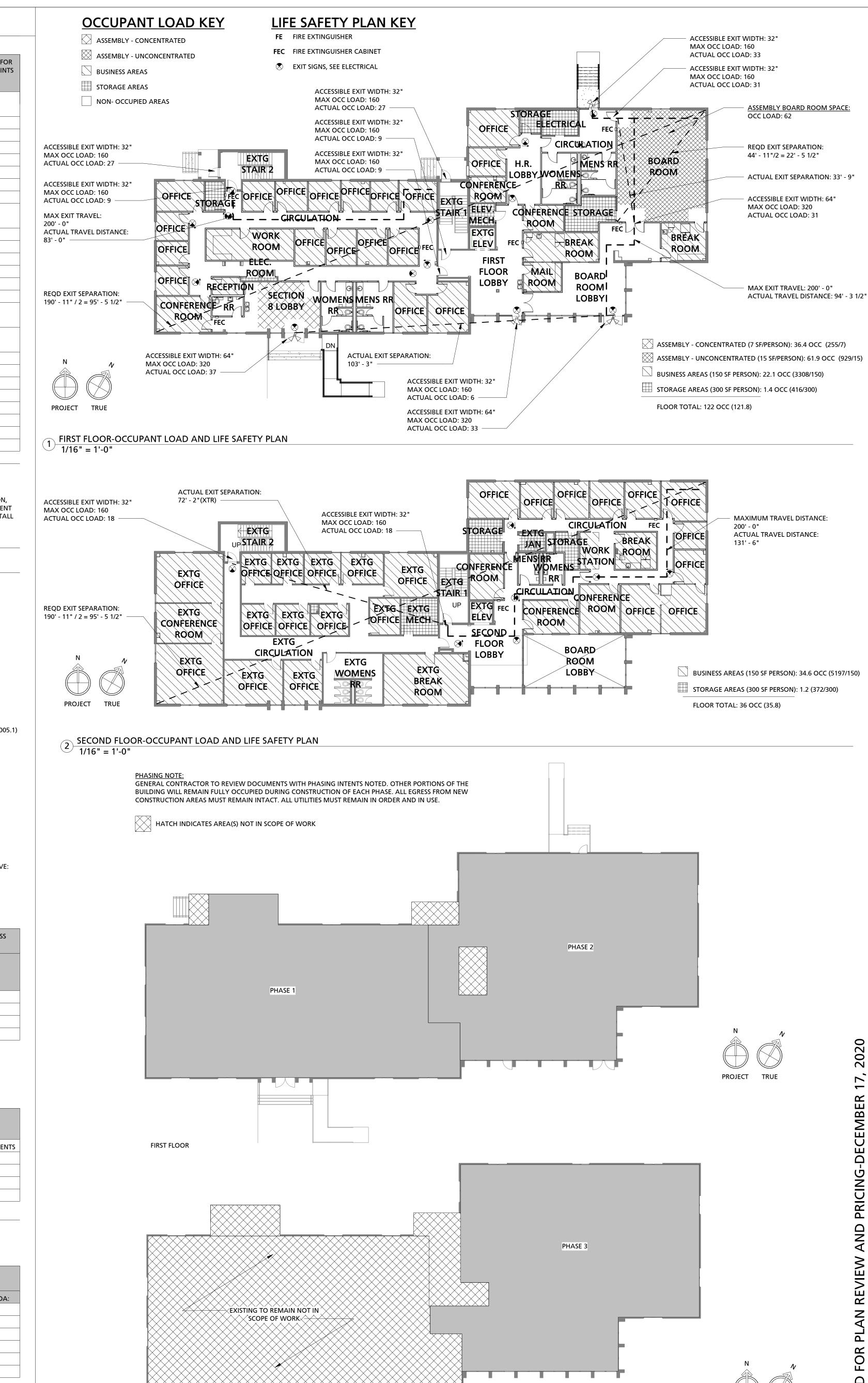
EXIT WIDTH

				ACTUAL EXIT WIDTH SHOWN ON PLANS	
		STAIRS	OTHER ELEMENTS	STAIRS	OTHER ELEMENTS
122	0.3 / 0.2	36.6"	24.4"	NA	224"
36	0.3 / 0.2	10.8"	7.2"	88"	64"

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

TE: FIXTURE COUNTS BAS	SED UPON	DESIGN OCC	UPANT LOA

	WATER CLOSETS		URINALS	LAVATORIES		SHOWERS /TUBS	DRINKING FOUNTAINS	
	MALE:	FEMALE:		MALE:	FEMALE:		REGULAR:	ANSI/ADA
REQUIRED: (79 M, 79 F)								
(B) BUSINESS	2.1	2.1		1.5	1.5		1.6	1.6
PROVIDED: (79 M, 79 F)								
(B) BUSINESS	*5	*11		*3	*8		2	2



SECOND FLOOR

3 PHASING KEY PLAN
1/16" = 1'-0"

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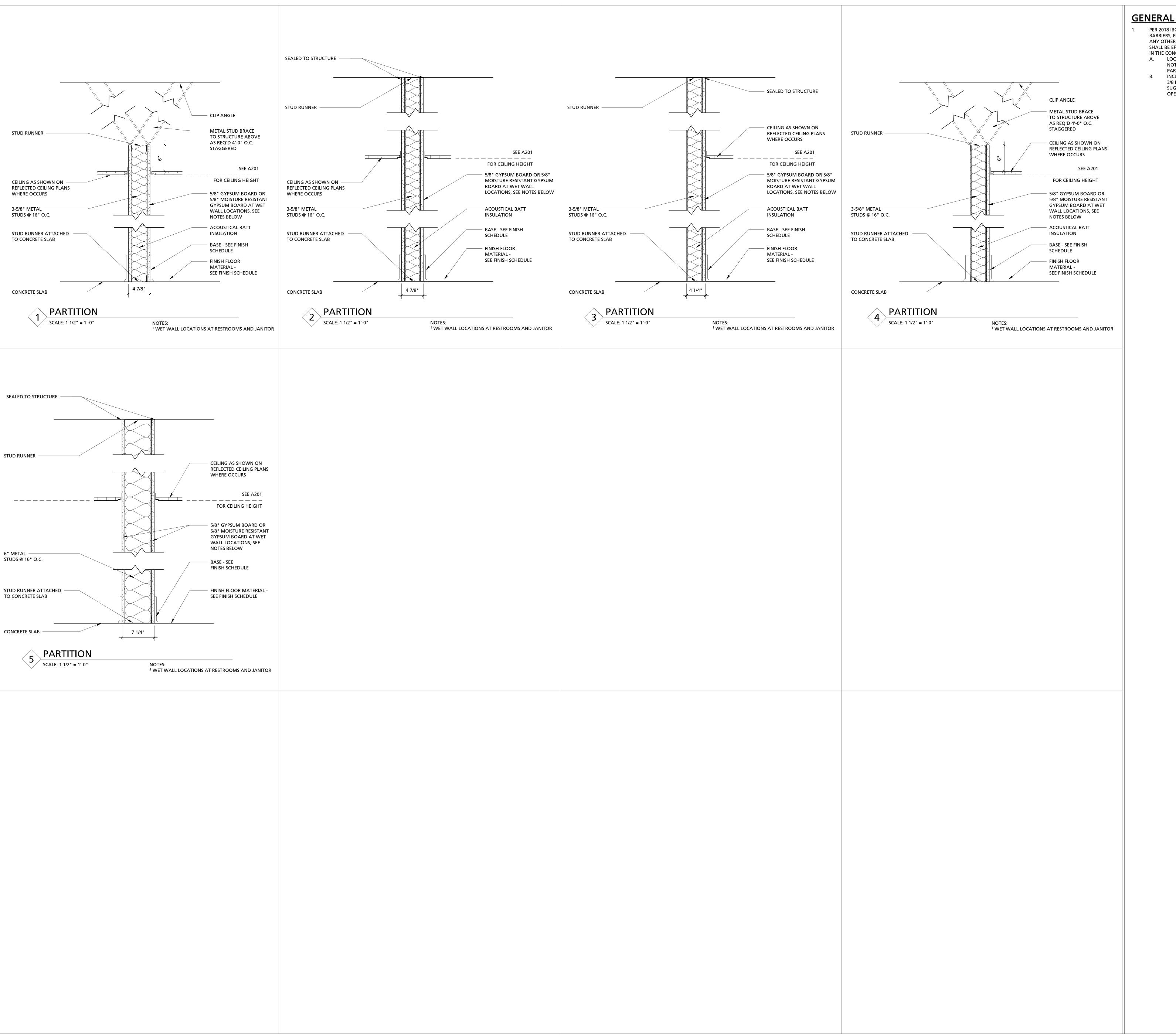
REVISIONS

G10°

BUILDING CODE SUMMARY

12.17.20

No. Description Date



GENERAL PARTITION NOTES

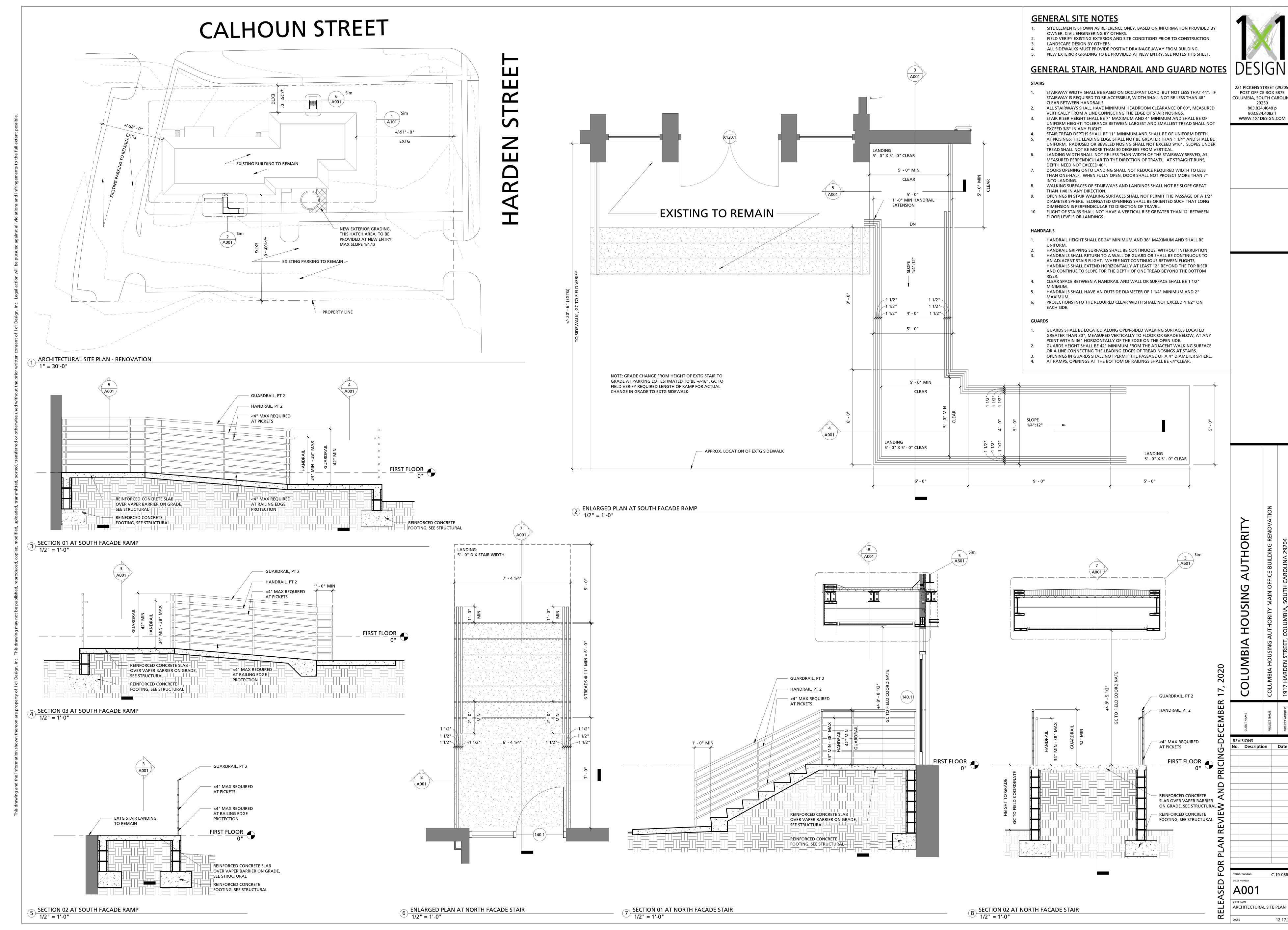
- PER 2018 IBC WITH SC MODIFICATIONS, SECTION 703.7, ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS, AND SMOKE PARTITIONS, AND/OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS, SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN THE CONCEALED SPACE. SUCH IDENTIFICATION SHALL BE:
 - A. LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR
 - B. INCLUDE LETTERING NOT LESS THAN 3 INCHES IN HEIGHT WITH A MINIMUM 3/8 INCH STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS" OR OTHER WORDING.

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HOUSING

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SHEET NAME
PARTITION TYPES



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GENERAL DEMOLITION NOTES

EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS.

GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION.

ALL EXISTING EXTERIOR ALUMINUM STOREFRONT TO REMAIN, UNO.

DO NOT REMOVE MORE EXTERIOR WALL OR ROOF MATERIAL THAN WHAT CAN BE COVERED IN ONE DAY, OR PROVIDE TEMPORARY ENCLOSURE TO ENSURE BUILDING

SELECTIVE DEMOLITION

CUTTING OPERATIONS.

REMAINS WATER & WEATHER-TIGHT.

EXISTING DOOR TO BE REMOVED

EXISTING

■ STOREFRONT, TO BE

EXISTING ELECTRICAL

PANEL, TO REMAIN

REMOVED

DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.

PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL, OR AS REQUIRED BY THE TIME FRAME OF THE PROJECT. CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES

TO AVOID MARRING EXISTING FINISHED SURFACES. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-

MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES. REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE. NOTIFY ARCHITECT

IMMEDIATELY OF DAMAGED OR DANGEROUS CONDITIONS. LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR

DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL OR OTHER APPROPRIATE DISPOSAL/RECYCLING SERVICE. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.

9. REMOVE AND LEGALLY DISPOSE ALL EXISTING PLANT MATERIAL.

UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS 1. EXISTING SERVICES/SYSTEMS: MAINTAIN EXISTING SERVICES AND PROTECT THEM

AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVICING AREAS TO BE SELECTIVELY DEMOLISHED.

ELECTRICAL DEMOLITION NOTES

 COORDINATE DEMOLITION WORK WITH FACILITY OPERATIONS AND ALL OTHER TRADES. IDENTIFY SALVAGE ITEMS IN COOPERATION WITH OWNER. 2. ERECT, AND MAINTAIN TEMPORARY SAFEGUARDS, INCLUDING WARNING SIGNS AND LIGHTS, BARRICADES, AND SIMILAR MEASURES, FOR PROTECTION OF THE

OWNER, CONTRACTOR'S EMPLOYEES, AND EXISTING IMPROVEMENTS TO REMAIN. PROVIDE TEMPORARY ELECTRICAL POWER AND EMERGENCY LIGHTING AS REQUIRED. ENSURE ALL CIRCUITS AND EQUIPMENT TO BE DEMOLISHED ARE SAFELY DE-ENERGIZED PRIOR TO STARTING WORK. DISCONNECT ELECTRICAL SYSTEMS IN

WIRING AND CONDUIT IN CIRCUITS DESIGNATED TO BE ABANDONED. CUT CONCEALED CONDUIT FLUSH WITH WALLS AND FLOORS, PLUG CONDUITS AND PATCH SURFACES. REMOVE ALL DISCARDED MATERIALS PER THESE SPECIFICATIONS AND OWNERS'S INSTRUCTION. RELOCATE, AND EXTEND EXISTING INSTALLATIONS TO

WALLS, FLOORS, AND CEILINGS SCHEDULES FOR REMOVAL. REMOVE EXPOSED

ACCOMMODATE NEW CONSTRUCTION. KEEP ELECTRICAL POWER AND LIGHTING PANELS AS SPECIFIED ON THESE DRAWINGS. RING OUT CIRCUITS IN EXISTING PANELS WHERE ADDITIONAL CIRCUITS ARE NEEDED. REUSE AVAILABLE CIRCUITS, INSTALL NEW CIRCUIT BREAKERS AS REQUIRED - SEE ELECTRICAL DRAWINGS. CLEAN AND REPAIR EXISTING EQUIPMENT TO REMAIN, BE SALVAGED, OR TO BE REINSTALLED.

TESTING: TEST ALL MAIN SERVICE AND PANELBOARD FEEDER WIRING TO REMAIN IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. REMOVE ANY AND ALL EXISTING WIRE NO LONGER IN USE. PERFORM VISUAL AND MECHANICAL TEST OF CIRCUIT BREAKERS PER

REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. CIRCUIT BREAKERS EXHIBITING ANY UNUSUAL CHARACTERISTIC SHALL BE SUBJECTED TO ELECTRICAL TESTS PER THE SAME REQUIREMENTS. REPLACE DEFECTIVE CIRCUIT BREAKERS WITH NEW OF SAME KIND, OR PER THE REQUIREMENTS OF THE ELECTRICAL ENGINEER, WHICHEVER IS MORE STRINGENT.

DEMOLISH IN SECTIONS. CUT CONCRETE FULL DEPTH AT JUNCTURE WITH CONSTRUCTION TO REMAIN AND AT REGULAR INTERVALS, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS. AT SLAB ON GRADE, SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED, THEN

MASONRY

1. DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.

FLOOR COVERINGS

BREAK UP AND REMOVE.

REMOVE FLOOR COVERINGS AND ADHESIVE ACCORDING TO RECOMMENDATIONS BY THE MANUFACTURER AND IN A MANNER IN WHICH PREPARES SURFACE FOR INSTALLATION OF NEW MATERIAL, PER THE MANUFACTURER'S RECOMMENDATIONS OF THE NEW MATERIAL.

CLEANING

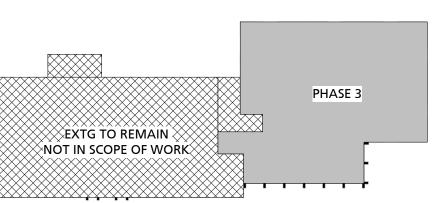
CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN AND SUITABLE FOR OWNER OCCUPATION.

TEMPORARY SHORING

1. PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

PHASE 2 PHASE 1

FIRST FLOOR



SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

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SIN REVISIONS No. Description Date

AD101 DEMOLITION

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EXTG OFFICE

O1 O2

1 FIRST FLOOR- PHASE 1 DEMOLITION PLAN
1/4" = 1'-0"

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EXTG

CIRCULATION

REMOVE AND DISPOSE OF ALL INTERIOR FINISHES AND DEBRIS, THIS ROOM. CLEAN AREA TO RECEIVE NEW CONSTRUCTION AND FINISHES

ALL REMAINING FURNITURE IN SPACE TO BE REMOVED AND DISPOSED BY GC. GC TO COORDINATE WITH OWNER ON REMOVAL OF ALL ITEMS PRIOR TO DISPOSAL

REMOVE EXISTING WALL FOR NEW INTERIOR OPENING. SEE RENOVATION PLANS AND INTERIOR ELEVATIONS FOR EXTENT

D4 EXISTING PLUMBING FIXTURES, TO BE REMOVED THIS AREA

RENOVATION NOTES. EXTG FLOORING TO REMAIN.

EXISTING STOREFRONT, TO BE PARTIALLY REMOVED FOR NEW EXTERIOR ENTRY, SEE RENO PLANS AND RENO ELEVATIONS FOR EXTENT

(D6) EXTG STAIR TREADS TO BE REMOVED AND DISPOSED, THIS STAIRCASE ONLY (STAIR 2). PREPARE SURFACE TO RECEIVE NEW TREAD FINISH, SEE RENOVATION NOTES PREPARE EXTG WALLS AND CEILING TO RECIEVE NEW PAINT FINISH, SEE

REFLECTED CEILING PLAN:

EXTG OFFICE

D8 EXTG MECHANICAL AND ELECTRICAL EQUIPMENT TO BE REMOVED DISPOSED, SEE MECHANICAL AND ELECTRICAL

(D9) EXTG CEILING TILES AND GRID TO BE REMOVED AND DISPOSED

DEMOLITION LEGEND NOTE: SEE DEMOLITION TAGS AND NOTES FOR MORE DETAILS. — — — — EXISTING ELEMENT TO BE REMOVED EXISTING DOOR TO BE REMOVED EXISTING WALL TO

PHASE 2:

SHEET AD101.B —

====7

EXTG

PHASE 1:

STAIR 1

PHASE 1:

REFER TO

→ SHEET AD101.A

EXTG STORAGE

 $\bigcirc D1 \bigcirc D2 \bigcirc$

EXTG

TRAINING

ROOM

(D1) (D2)

h— — — — — — — — —

-===≠

HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK

EXISTING WALL TO

BE REMOVED

REMAIN

REMOVED EXISTING ELECTRICAL PANEL, TO REMAIN

EXISTING

STOREFRONT, TO BE

GENERAL DEMOLITION NOTES

- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO REPAIR/REPLACE
- ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS.
- CONSTRUCTION. ALL EXISTING EXTERIOR ALUMINUM STOREFRONT TO REMAIN, UNO.

GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF

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DO NOT REMOVE MORE EXTERIOR WALL OR ROOF MATERIAL THAN WHAT CAN BE COVERED IN ONE DAY, OR PROVIDE TEMPORARY ENCLOSURE TO ENSURE BUILDING REMAINS WATER & WEATHER-TIGHT.

SELECTIVE DEMOLITION

DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS. PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL, OR AS REQUIRED BY THE TIME FRAME OF THE PROJECT.

CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID MARRING EXISTING FINISHED SURFACES. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-

CUTTING OPERATIONS. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.

REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE. NOTIFY ARCHITECT IMMEDIATELY OF DAMAGED OR DANGEROUS CONDITIONS. LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS

SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR

FRAMING. DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL OR OTHER APPROPRIATE DISPOSAL/RECYCLING SERVICE. DO NOT ALLOW DEMOLISHED

MATERIALS TO ACCUMULATE ON-SITE. 9. REMOVE AND LEGALLY DISPOSE ALL EXISTING PLANT MATERIAL.

UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

SERVICING AREAS TO BE SELECTIVELY DEMOLISHED.

EXISTING SERVICES/SYSTEMS: MAINTAIN EXISTING SERVICES AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

ELECTRICAL DEMOLITION NOTES

COORDINATE DEMOLITION WORK WITH FACILITY OPERATIONS AND ALL OTHER TRADES. IDENTIFY SALVAGE ITEMS IN COOPERATION WITH OWNER. ERECT, AND MAINTAIN TEMPORARY SAFEGUARDS, INCLUDING WARNING SIGNS AND LIGHTS, BARRICADES, AND SIMILAR MEASURES, FOR PROTECTION OF THE

OWNER, CONTRACTOR'S EMPLOYEES, AND EXISTING IMPROVEMENTS TO REMAIN.

PROVIDE TEMPORARY ELECTRICAL POWER AND EMERGENCY LIGHTING AS ENSURE ALL CIRCUITS AND EQUIPMENT TO BE DEMOLISHED ARE SAFELY DE-ENERGIZED PRIOR TO STARTING WORK. DISCONNECT ELECTRICAL SYSTEMS IN WALLS, FLOORS, AND CEILINGS SCHEDULES FOR REMOVAL. REMOVE EXPOSED WIRING AND CONDUIT IN CIRCUITS DESIGNATED TO BE ABANDONED. CUT

CONCEALED CONDUIT FLUSH WITH WALLS AND FLOORS, PLUG CONDUITS AND PATCH SURFACES. REMOVE ALL DISCARDED MATERIALS PER THESE SPECIFICATIONS AND OWNERS'S INSTRUCTION. RELOCATE, AND EXTEND EXISTING INSTALLATIONS TO

ACCOMMODATE NEW CONSTRUCTION. KEEP ELECTRICAL POWER AND LIGHTING PANELS AS SPECIFIED ON THESE DRAWINGS. RING OUT CIRCUITS IN EXISTING PANELS WHERE ADDITIONAL CIRCUITS ARE NEEDED. REUSE AVAILABLE CIRCUITS, INSTALL NEW CIRCUIT BREAKERS AS REQUIRED - SEE ELECTRICAL DRAWINGS. CLEAN AND REPAIR EXISTING EQUIPMENT

TO REMAIN, BE SALVAGED, OR TO BE REINSTALLED. TESTING: TEST ALL MAIN SERVICE AND PANELBOARD FEEDER WIRING TO REMAIN IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

REMOVE ANY AND ALL EXISTING WIRE NO LONGER IN USE. PERFORM VISUAL AND MECHANICAL TEST OF CIRCUIT BREAKERS PER REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. CIRCUIT BREAKERS EXHIBITING ANY UNUSUAL CHARACTERISTIC SHALL BE SUBJECTED TO ELECTRICAL TESTS PER THE SAME REQUIREMENTS. REPLACE DEFECTIVE CIRCUIT BREAKERS WITH NEW OF SAME KIND, OR PER THE REQUIREMENTS OF THE ELECTRICAL ENGINEER, WHICHEVER IS MORE STRINGENT.

CONCRETE

DEMOLISH IN SECTIONS. CUT CONCRETE FULL DEPTH AT JUNCTURE WITH CONSTRUCTION TO REMAIN AND AT REGULAR INTERVALS, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS. AT SLAB ON GRADE, SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED, THEN

1. DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH

CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY

BETWEEN SAW CUTS. FLOOR COVERINGS

BREAK UP AND REMOVE.

REMOVE FLOOR COVERINGS AND ADHESIVE ACCORDING TO RECOMMENDATIONS BY THE MANUFACTURER AND IN A MANNER IN WHICH PREPARES SURFACE FOR INSTALLATION OF NEW MATERIAL, PER THE MANUFACTURER'S RECOMMENDATIONS OF THE NEW MATERIAL.

CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN AND SUITABLE FOR OWNER OCCUPATION.

TEMPORARY SHORING

PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

PHASE 2 PHASE 1 FIRST FLOOR

EXTG TO REMAIN NOT IN SCOPE OF WORK

SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

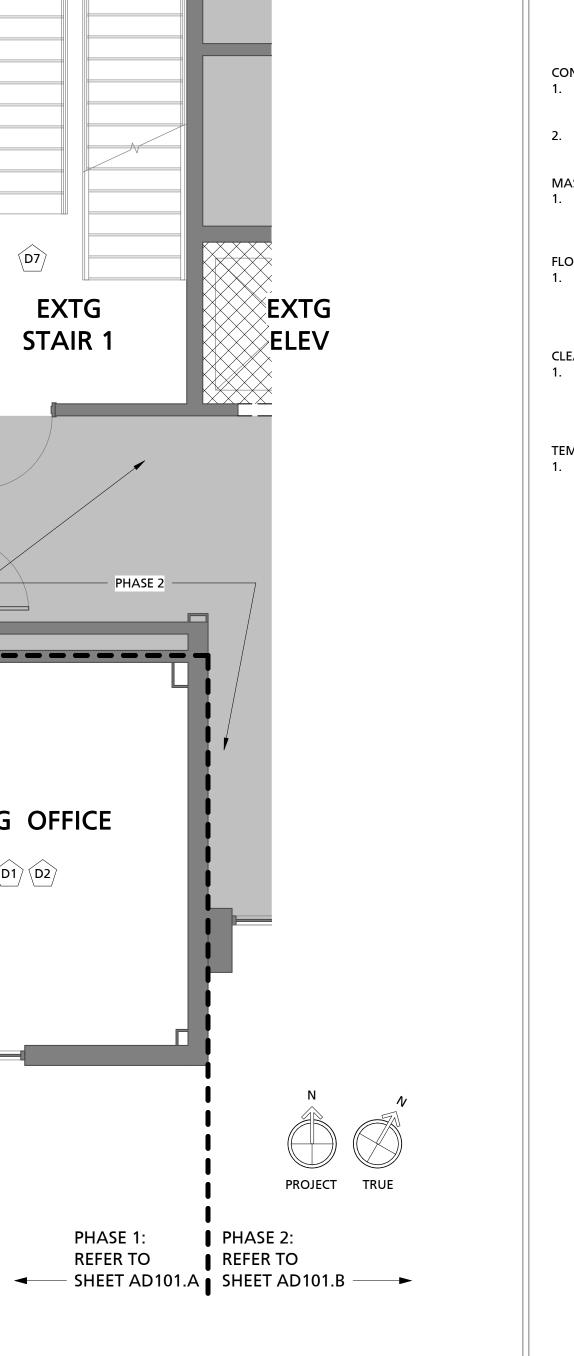
PHASING KEY PLAN - NOT TO SCALE

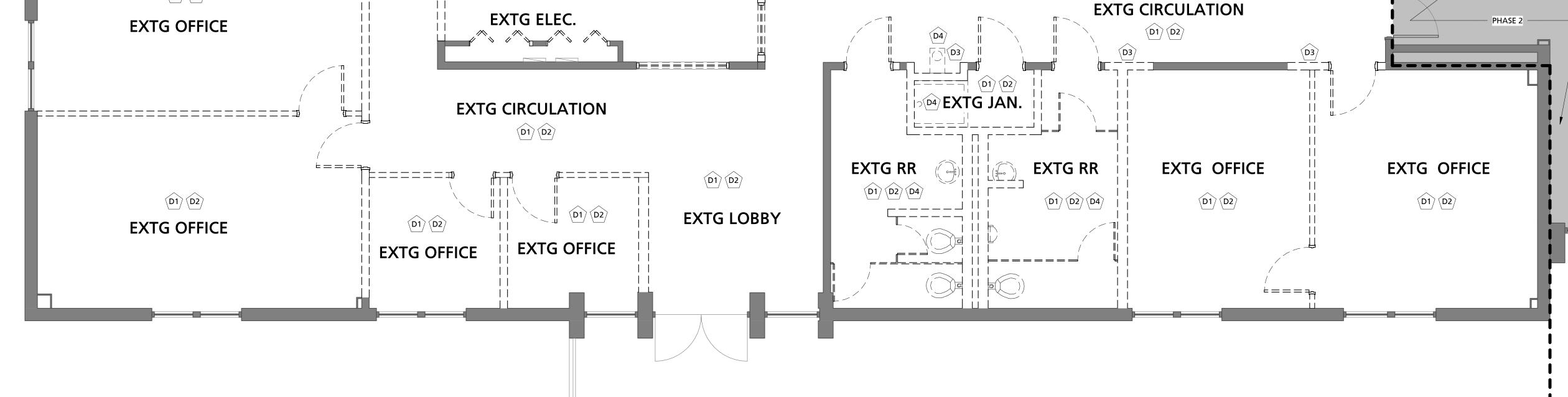
No. Description Date

AD101.A

12.17.20

DEMOLITON





EXTG CUBICLE OFFICES

EXTG SECURITY

(D1) (D2)

(D1) (D2)

PHASE 2:

REFER TO REFER TO SHEET AD101.A ■ SHEET AD101.B — ►

PHASE 1:

EXTG STORAGE

EXTG

TRAINING

ROOM

REFER TO

FIRST FLOOR- PHASE 2 DEMOLITION PLAN

SHEET AD101.A SHEET AD101.B →

REMOVE AND DISPOSE OF ALL INTERIOR FINISHES AND DEBRIS, THIS ROOM. CLEAN AREA TO RECEIVE NEW CONSTRUCTION AND FINISHES

ALL REMAINING FURNITURE IN SPACE TO BE REMOVED AND DISPOSED BY GC. GC TO COORDINATE WITH OWNER ON REMOVAL OF ALL ITEMS PRIOR TO DISPOSAL REMOVE EXISTING WALL FOR NEW INTERIOR OPENING. SEE RENOVATION PLANS

AND INTERIOR ELEVATIONS FOR EXTENT EXISTING PLUMBING FIXTURES, TO BE REMOVED THIS AREA

RENOVATION NOTES. EXTG FLOORING TO REMAIN.

EXISTING

ELEC.

CLOSET

EXISTING STOREFRONT, TO BE PARTIALLY REMOVED FOR NEW EXTERIOR ENTRY, SEE RENO PLANS AND RENO ELEVATIONS FOR EXTENT

(D6) EXTG STAIR TREADS TO BE REMOVED AND DISPOSED, THIS STAIRCASE ONLY (STAIR 2). PREPARE SURFACE TO RECEIVE NEW TREAD FINISH, SEE RENOVATION NOTES

PREPARE EXTG WALLS AND CEILING TO RECIEVE NEW PAINT FINISH, SEE

REFLECTED CEILING PLAN:

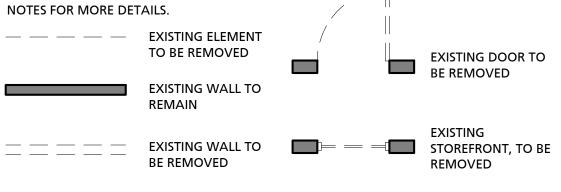
EXTG MECHANICAL AND ELECTRICAL EQUIPMENT TO BE REMOVED DISPOSED, SEE MECHANICAL AND ELECTRICAL D9 EXTG CEILING TILES AND GRID TO BE REMOVED AND DISPOSED

DEMOLITION LEGEND NOTE: SEE DEMOLITION TAGS AND

HATCH INDICATES

SCOPE OF WORK

AREA NOT WITHIN



EXISTING ELECTRICAL

PANEL, TO REMAIN

GENERAL DEMOLITION NOTES

- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO REPAIR/REPLACE
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TO AVOID MARRING EXISTING FINISHED SURFACES. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.

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 DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY

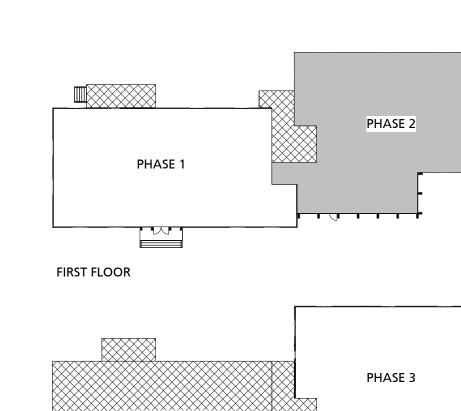
BETWEEN SAW CUTS. FLOOR COVERINGS

REMOVE FLOOR COVERINGS AND ADHESIVE ACCORDING TO RECOMMENDATIONS BY THE MANUFACTURER AND IN A MANNER IN WHICH PREPARES SURFACE FOR INSTALLATION OF NEW MATERIAL, PER THE MANUFACTURER'S RECOMMENDATIONS OF THE NEW MATERIAL.

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SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

No. Description Date

XEXTG TO REMAIN ŜÑÔT IN SCOPE OF WORK

DEMOLITION

12.17.20

EXTG OFFICE EXTG OFFICE \bigcirc D1 \bigcirc D2 \bigcirc **EXTG CUBICLE OFFICES** $\langle D1 \rangle \langle D2 \rangle$ (D1) (D2) F===≠ EXISTING STORAGE _____==== **----EXTG CIRCULATION** EXTG. ROOM **EXTG CUBICLE OFFICES** EXTG. ELEV. (D1) (D2)MECH. ┡───── ┡─── **EXTG** CIRCULATION \downarrow F===± $\overline{(D1)}$ $\overline{(D2)}$ **EXTG** EXTG STAIR 1 ELEV EXTG OFFICE **EXTG OFFICE** $\langle D1 \rangle \langle D2 \rangle$ **EXTG LOBBY** (D1) (D2) $\bigcirc D1 \bigcirc D2 \bigcirc$ **EXTG LOBBY** — PHASE 1 — EXTG OFFICE

- REMOVE AND DISPOSE OF ALL INTERIOR FINISHES AND DEBRIS, THIS ROOM. CLEAN AREA TO RECEIVE NEW CONSTRUCTION AND FINISHES
- ALL REMAINING FURNITURE IN SPACE TO BE REMOVED AND DISPOSED BY GC. GC TO COORDINATE WITH OWNER ON REMOVAL OF ALL ITEMS PRIOR TO DISPOSAL
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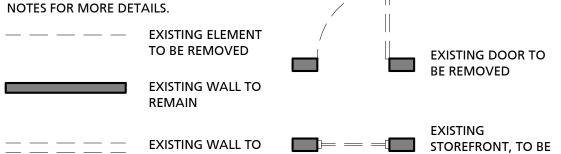
REFLECTED CEILING PLAN:

D8 EXTG MECHANICAL AND ELECTRICAL EQUIPMENT TO BE REMOVED DISPOSED, SEE MECHANICAL AND ELECTRICAL

(D9) EXTG CEILING TILES AND GRID TO BE REMOVED AND DISPOSED

DEMOLITION LEGEND

NOTE: SEE DEMOLITION TAGS AND NOTES FOR MORE DETAILS.





__ __ __ __

HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK

BE REMOVED

EXISTING ELECTRICAL PANEL, TO REMAIN

REMOVED

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ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH

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FLOOR COVERINGS

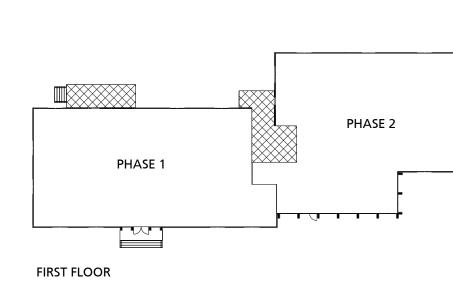
BREAK UP AND REMOVE.

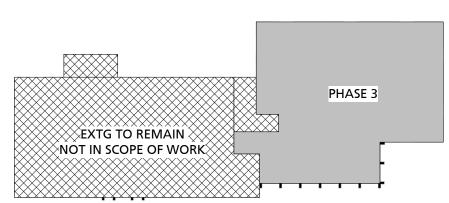
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SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

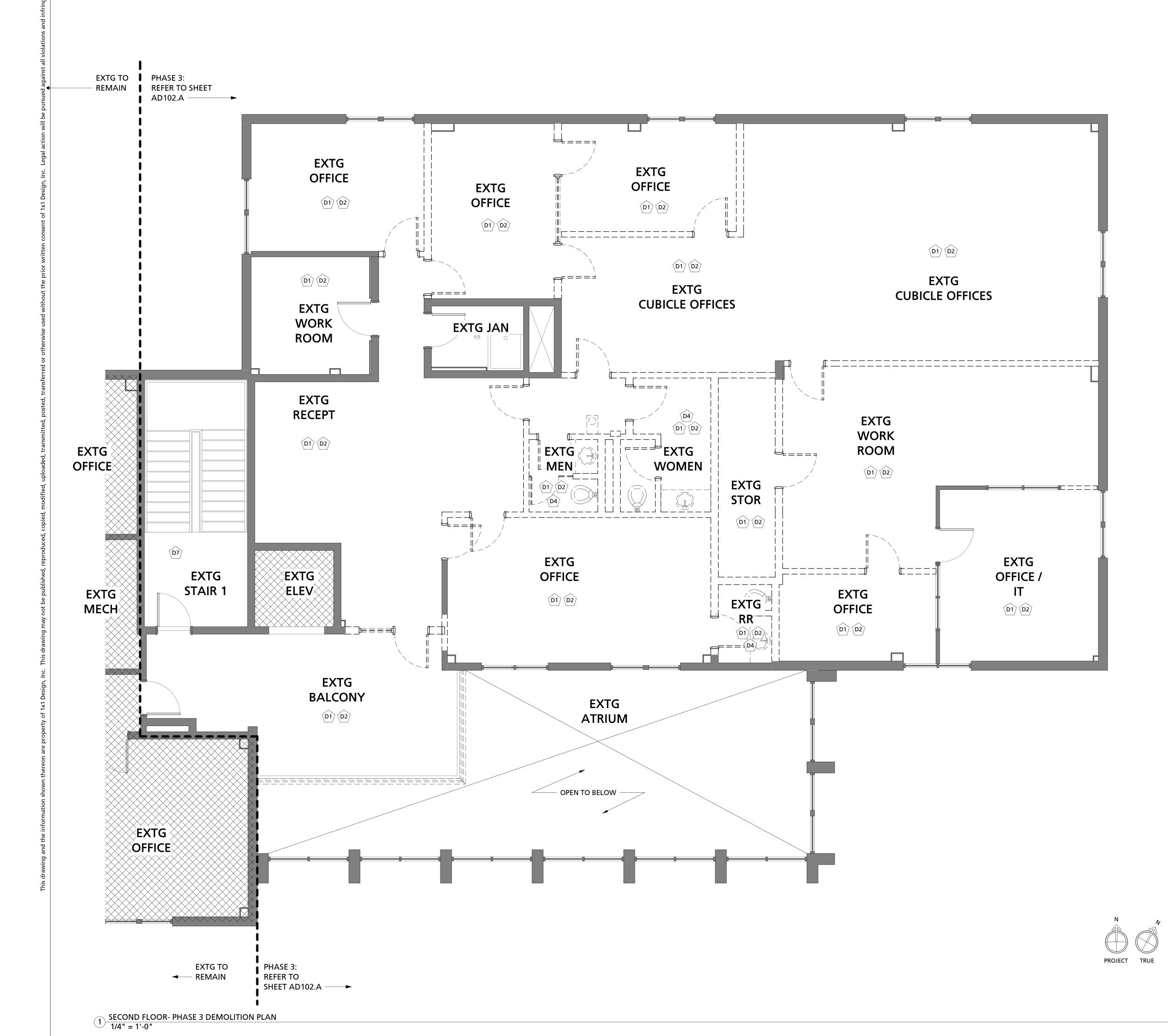
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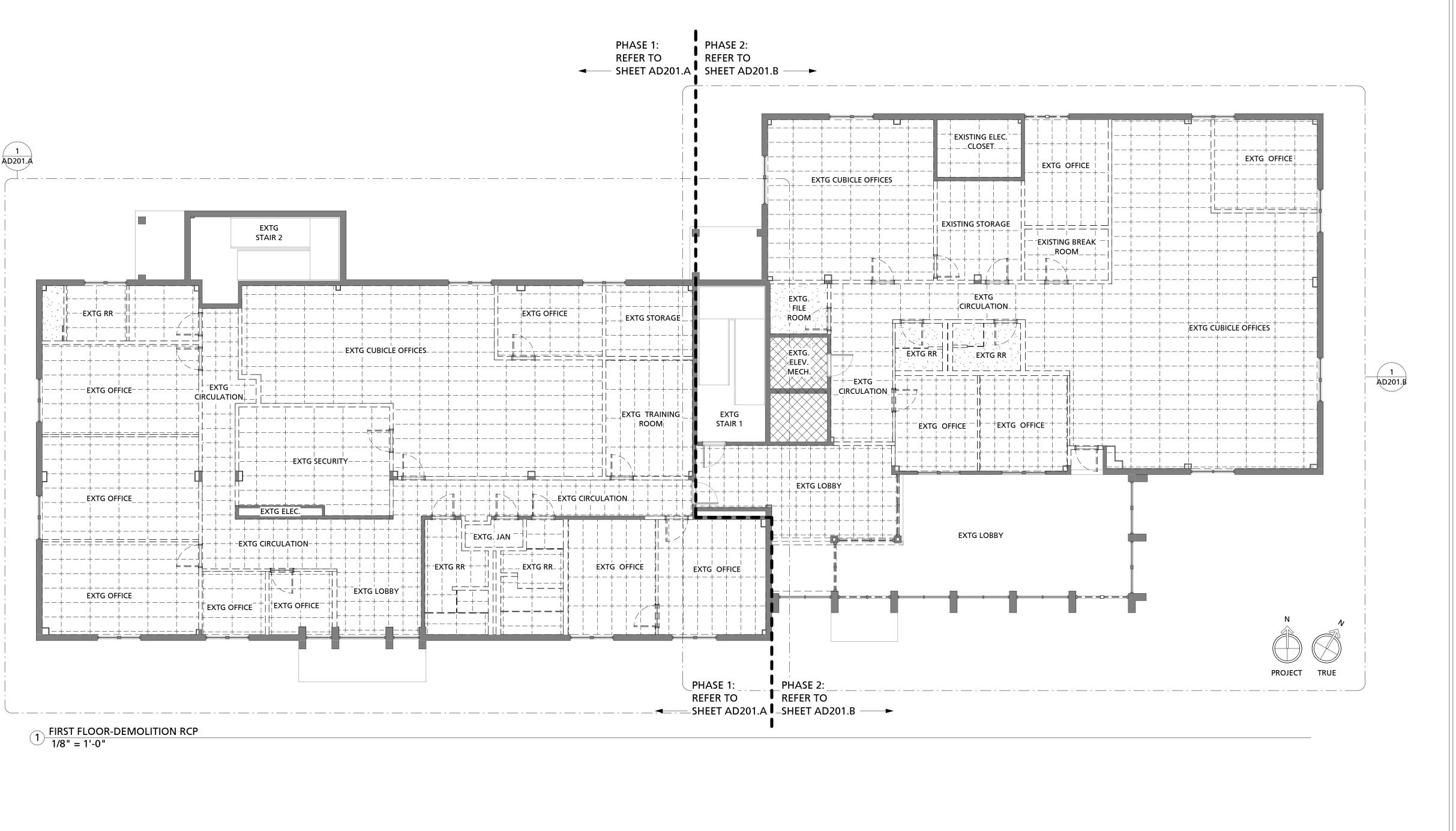
AD102.A DEMOLITION

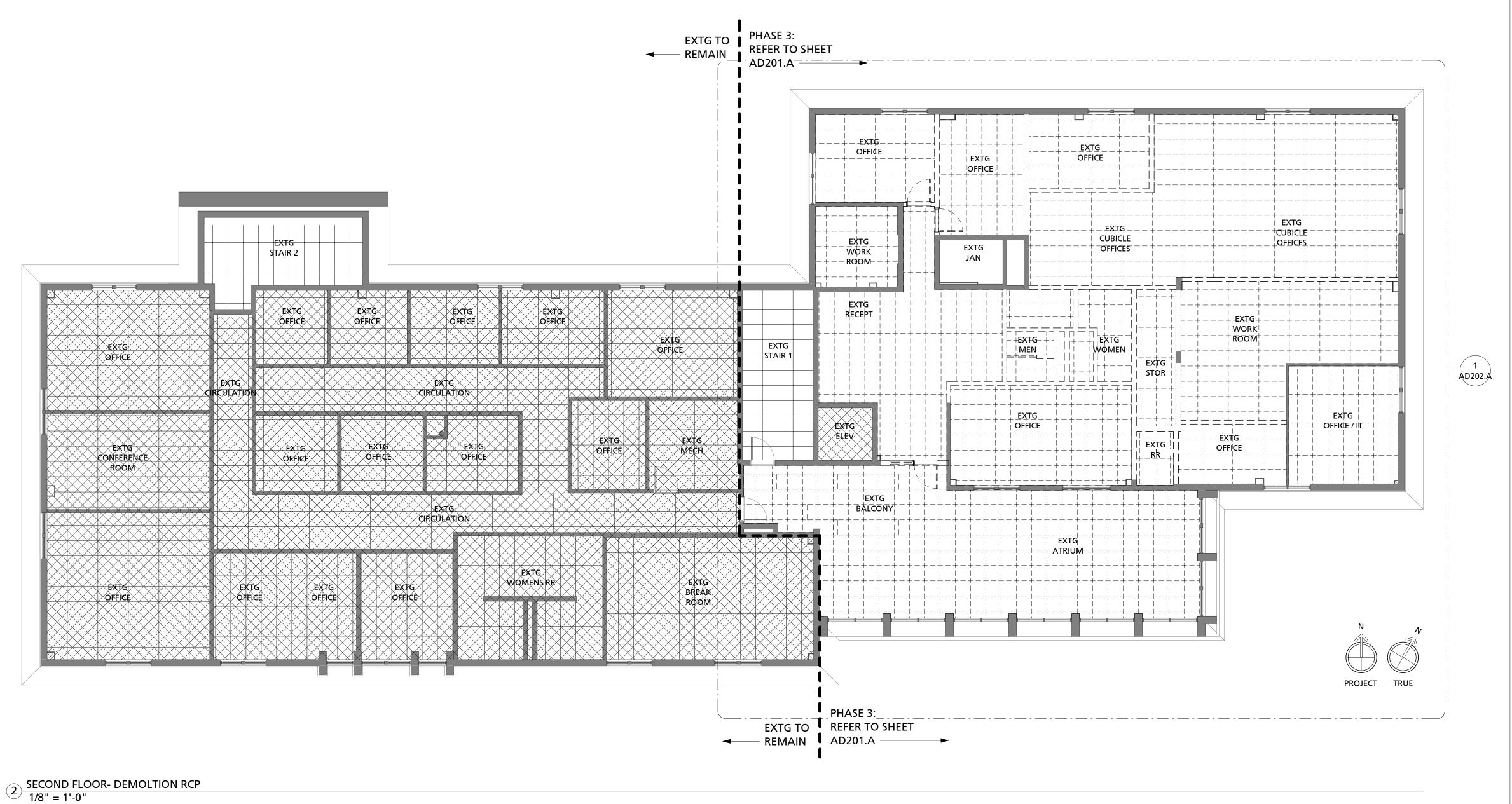
12.17.20

REVISIONS

SIN







GENERAL DEMOLITION NOTES

REMAINS WATER & WEATHER-TIGHT.

DEMOLITION LEGEND EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, NOTE: SEE DEMOLITION TAGS AND OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS — — — — EXISTING ELEMENT DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM TO BE REMOVED EXISTING DOOR TO BE REMOVED DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH EXISTING WALL TO ORIGINAL CONDITIONS. REMAIN GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF EXISTING

■ STOREFRONT, TO BE

EXISTING ELECTRICAL

PANEL, TO REMAIN

REMOVED

NOTES FOR MORE DETAILS.

— — — — EXISTING WALL TO

BE REMOVED

HATCH INDICATES

AREA NOT WITHIN

SCOPE OF WORK

CONSTRUCTION.

ALL EXISTING EXTERIOR ALUMINUM STOREFRONT TO REMAIN, UNO. DO NOT REMOVE MORE EXTERIOR WALL OR ROOF MATERIAL THAN WHAT CAN BE

SELECTIVE DEMOLITION

DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED

COVERED IN ONE DAY, OR PROVIDE TEMPORARY ENCLOSURE TO ENSURE BUILDING

TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS. PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL, OR AS REQUIRED BY THE TIME FRAME OF THE PROJECT.

CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID MARRING EXISTING FINISHED SURFACES. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-

CUTTING OPERATIONS. MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES. REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR

UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE. NOTIFY ARCHITECT IMMEDIATELY OF DAMAGED OR DANGEROUS CONDITIONS.

LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. EXCEPT FOR ITEMS

OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL OR OTHER APPROPRIATE DISPOSAL/RECYCLING SERVICE. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.

9. REMOVE AND LEGALLY DISPOSE ALL EXISTING PLANT MATERIAL.

UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS 1. EXISTING SERVICES/SYSTEMS: MAINTAIN EXISTING SERVICES AND PROTECT THEM

AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVICING AREAS TO BE SELECTIVELY DEMOLISHED.

ELECTRICAL DEMOLITION NOTES

COORDINATE DEMOLITION WORK WITH FACILITY OPERATIONS AND ALL OTHER TRADES. IDENTIFY SALVAGE ITEMS IN COOPERATION WITH OWNER. ERECT, AND MAINTAIN TEMPORARY SAFEGUARDS, INCLUDING WARNING SIGNS

AND LIGHTS, BARRICADES, AND SIMILAR MEASURES, FOR PROTECTION OF THE OWNER, CONTRACTOR'S EMPLOYEES, AND EXISTING IMPROVEMENTS TO REMAIN. PROVIDE TEMPORARY ELECTRICAL POWER AND EMERGENCY LIGHTING AS REQUIRED. ENSURE ALL CIRCUITS AND EQUIPMENT TO BE DEMOLISHED ARE SAFELY DE-

ENERGIZED PRIOR TO STARTING WORK. DISCONNECT ELECTRICAL SYSTEMS IN WALLS, FLOORS, AND CEILINGS SCHEDULES FOR REMOVAL. REMOVE EXPOSED WIRING AND CONDUIT IN CIRCUITS DESIGNATED TO BE ABANDONED. CUT CONCEALED CONDUIT FLUSH WITH WALLS AND FLOORS, PLUG CONDUITS AND PATCH SURFACES.

REMOVE ALL DISCARDED MATERIALS PER THESE SPECIFICATIONS AND OWNERS'S INSTRUCTION. RELOCATE, AND EXTEND EXISTING INSTALLATIONS TO ACCOMMODATE NEW CONSTRUCTION.

KEEP ELECTRICAL POWER AND LIGHTING PANELS AS SPECIFIED ON THESE DRAWINGS. RING OUT CIRCUITS IN EXISTING PANELS WHERE ADDITIONAL CIRCUITS ARE NEEDED. REUSE AVAILABLE CIRCUITS, INSTALL NEW CIRCUIT BREAKERS AS REQUIRED - SEE ELECTRICAL DRAWINGS. CLEAN AND REPAIR EXISTING EQUIPMENT TO REMAIN, BE SALVAGED, OR TO BE REINSTALLED. TESTING: TEST ALL MAIN SERVICE AND PANELBOARD FEEDER WIRING TO REMAIN

IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. REMOVE ANY AND ALL EXISTING WIRE NO LONGER IN USE. PERFORM VISUAL AND MECHANICAL TEST OF CIRCUIT BREAKERS PER REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. CIRCUIT BREAKERS EXHIBITING ANY UNUSUAL CHARACTERISTIC SHALL BE SUBJECTED TO ELECTRICAL

CONCRETE

MASONRY

DEMOLISH IN SECTIONS. CUT CONCRETE FULL DEPTH AT JUNCTURE WITH CONSTRUCTION TO REMAIN AND AT REGULAR INTERVALS, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS. AT SLAB ON GRADE, SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED, THEN

TESTS PER THE SAME REQUIREMENTS. REPLACE DEFECTIVE CIRCUIT BREAKERS WITH

NEW OF SAME KIND, OR PER THE REQUIREMENTS OF THE ELECTRICAL ENGINEER,

DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.

FLOOR COVERINGS

WHICHEVER IS MORE STRINGENT.

BREAK UP AND REMOVE.

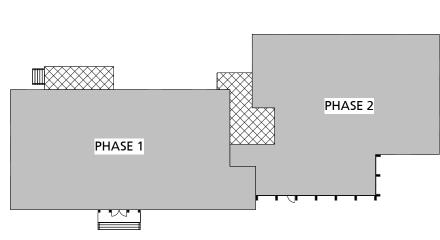
REMOVE FLOOR COVERINGS AND ADHESIVE ACCORDING TO RECOMMENDATIONS BY THE MANUFACTURER AND IN A MANNER IN WHICH PREPARES SURFACE FOR INSTALLATION OF NEW MATERIAL, PER THE MANUFACTURER'S RECOMMENDATIONS OF THE NEW MATERIAL.

CLEANING

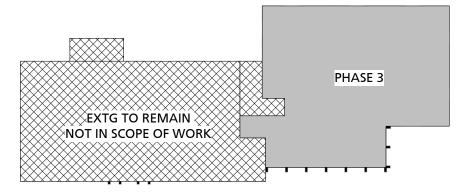
CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN AND SUITABLE FOR OWNER OCCUPATION.

TEMPORARY SHORING

PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.



FIRST FLOOR



SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

221 PICKENS STREET (29205) POST OFFICE BOX 5875 COLUMBIA, SOUTH CAROLINA 29250 803.834.4048 p 803.834.4082 f WWW.1X1DESIGN.COM

AD201 **DEMOLITION RCP**

REMOVE AND DISPOSE OF ALL INTERIOR FINISHES AND DEBRIS, THIS ROOM. CLEAN AREA TO RECEIVE NEW CONSTRUCTION AND FINISHES

ALL REMAINING FURNITURE IN SPACE TO BE REMOVED AND DISPOSED BY GC. GC TO COORDINATE WITH OWNER ON REMOVAL OF ALL ITEMS PRIOR TO DISPOSAL

REMOVE EXISTING WALL FOR NEW INTERIOR OPENING. SEE RENOVATION PLANS AND INTERIOR ELEVATIONS FOR EXTENT

(D4) EXISTING PLUMBING FIXTURES, TO BE REMOVED THIS AREA

EXISTING STOREFRONT, TO BE PARTIALLY REMOVED FOR NEW EXTERIOR ENTRY, SEE RENO PLANS AND RENO ELEVATIONS FOR EXTENT

PREPARE EXTG WALLS AND CEILING TO RECIEVE NEW PAINT FINISH, SEE

(D6) EXTG STAIR TREADS TO BE REMOVED AND DISPOSED, THIS STAIRCASE ONLY

REFLECTED CEILING PLAN:

D8 EXTG MECHANICAL AND ELECTRICAL EQUIPMENT TO BE REMOVED DISPOSED, SEE MECHANICAL AND ELECTRICAL

D9 EXTG CEILING TILES AND GRID TO BE REMOVED AND DISPOSED

DEMOLITION LEGEND NOTE: SEE DEMOLITION TAGS AND NOTES FOR MORE DETAILS.

— — — — EXISTING ELEMENT TO BE REMOVED EXISTING DOOR TO BE REMOVED EXISTING WALL TO REMAIN **EXISTING** EXISTING WALL TO STOREFRONT, TO BE BE REMOVED REMOVED

PHASE 2:

(D7) EXTG

STAIR 1

HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK

EXISTING ELECTRICAL PANEL, TO REMAIN

GENERAL DEMOLITION NOTES

EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO REPAIR/REPLACE

ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS. GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF

CONSTRUCTION. ALL EXISTING EXTERIOR ALUMINUM STOREFRONT TO REMAIN, UNO.

DO NOT REMOVE MORE EXTERIOR WALL OR ROOF MATERIAL THAN WHAT CAN BE COVERED IN ONE DAY, OR PROVIDE TEMPORARY ENCLOSURE TO ENSURE BUILDING REMAINS WATER & WEATHER-TIGHT.

SELECTIVE DEMOLITION DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED

TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS. PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL, OR AS REQUIRED BY THE TIME FRAME OF THE PROJECT. CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES

TO AVOID MARRING EXISTING FINISHED SURFACES. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.

MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES. REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE. NOTIFY ARCHITECT

IMMEDIATELY OF DAMAGED OR DANGEROUS CONDITIONS. LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR

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UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

1. EXISTING SERVICES/SYSTEMS: MAINTAIN EXISTING SERVICES AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVICING AREAS TO BE SELECTIVELY DEMOLISHED.

ELECTRICAL DEMOLITION NOTES COORDINATE DEMOLITION WORK WITH FACILITY OPERATIONS AND ALL OTHER

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ENSURE ALL CIRCUITS AND EQUIPMENT TO BE DEMOLISHED ARE SAFELY DE-ENERGIZED PRIOR TO STARTING WORK. DISCONNECT ELECTRICAL SYSTEMS IN WALLS, FLOORS, AND CEILINGS SCHEDULES FOR REMOVAL. REMOVE EXPOSED WIRING AND CONDUIT IN CIRCUITS DESIGNATED TO BE ABANDONED. CUT CONCEALED CONDUIT FLUSH WITH WALLS AND FLOORS, PLUG CONDUITS AND PATCH SURFACES.

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KEEP ELECTRICAL POWER AND LIGHTING PANELS AS SPECIFIED ON THESE DRAWINGS. RING OUT CIRCUITS IN EXISTING PANELS WHERE ADDITIONAL CIRCUITS ARE NEEDED. REUSE AVAILABLE CIRCUITS, INSTALL NEW CIRCUIT BREAKERS AS REQUIRED - SEE ELECTRICAL DRAWINGS. CLEAN AND REPAIR EXISTING EQUIPMENT TO REMAIN, BE SALVAGED, OR TO BE REINSTALLED.

IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.

WHICHEVER IS MORE STRINGENT.

BREAK UP AND REMOVE.

REQUIRED.

DEMOLISH IN SECTIONS. CUT CONCRETE FULL DEPTH AT JUNCTURE WITH CONSTRUCTION TO REMAIN AND AT REGULAR INTERVALS, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS. AT SLAB ON GRADE, SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED, THEN

NEW OF SAME KIND, OR PER THE REQUIREMENTS OF THE ELECTRICAL ENGINEER,

DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY

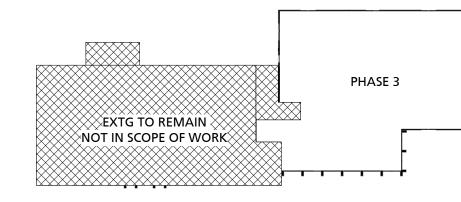
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CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN AND SUITABLE FOR OWNER OCCUPATION.

TEMPORARY SHORING

PHASE 2 PHASE 1 FIRST FLOOR



SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

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AD201.A **DEMOLTION RCP**

12.17.20

1 FIRST FLOOR- PHASE 1 DEMOLITION RCP
1/4" = 1'-0"

(STAIR 2). PREPARE SURFACE TO RECEIVE NEW TREAD FINISH, SEE RENOVATION NOTES RENOVATION NOTES. EXTG FLOORING TO REMAIN.

PHASE 1: REFER TO REFER TO SHEET AD201.A ■ SHEET AD201.B -

EXTG STAIR 2

REFER TO SHEET AD201.A

SHEET AD201.B

►

EXTG

ELEV

- REMOVE AND DISPOSE OF ALL INTERIOR FINISHES AND DEBRIS, THIS ROOM. CLEAN AREA TO RECEIVE NEW CONSTRUCTION AND FINISHES
- ALL REMAINING FURNITURE IN SPACE TO BE REMOVED AND DISPOSED BY GC. GC TO COORDINATE WITH OWNER ON REMOVAL OF ALL ITEMS PRIOR TO DISPOSAL
- REMOVE EXISTING WALL FOR NEW INTERIOR OPENING. SEE RENOVATION PLANS AND INTERIOR ELEVATIONS FOR EXTENT
- EXISTING PLUMBING FIXTURES, TO BE REMOVED THIS AREA
- EXISTING STOREFRONT, TO BE PARTIALLY REMOVED FOR NEW EXTERIOR ENTRY, SEE RENO PLANS AND RENO ELEVATIONS FOR EXTENT
- (D6) EXTG STAIR TREADS TO BE REMOVED AND DISPOSED, THIS STAIRCASE ONLY (STAIR 2). PREPARE SURFACE TO RECEIVE NEW TREAD FINISH, SEE RENOVATION NOTES
- PREPARE EXTG WALLS AND CEILING TO RECIEVE NEW PAINT FINISH, SEE RENOVATION NOTES. EXTG FLOORING TO REMAIN.

REFLECTED CEILING PLAN:

- - + - - - + - - - + - - - + - - - + - - - + - - - !

(D8) EXTG MECHANICAL AND ELECTRICAL EQUIPMENT TO BE REMOVED DISPOSED, SEE MECHANICAL AND ELECTRICAL

(D9) EXTG CEILING TILES AND GRID TO BE REMOVED AND DISPOSED

DEMOLITION LEGEND NOTE: SEE DEMOLITION TAGS AND NOTES FOR MORE DETAILS.

— — — EXISTING ELEMENT TO BE REMOVED EXISTING DOOR TO BE REMOVED EXISTING WALL TO REMAIN **EXISTING**

HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK

EXISTING WALL TO

BE REMOVED

EXISTING ELECTRICAL PANEL, TO REMAIN

■ STOREFRONT, TO BE

REMOVED

GENERAL DEMOLITION NOTES

- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH ORIGINAL CONDITIONS
- GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING EXTERIOR ALUMINUM STOREFRONT TO REMAIN, UNO. DO NOT REMOVE MORE EXTERIOR WALL OR ROOF MATERIAL THAN WHAT CAN BE COVERED IN ONE DAY, OR PROVIDE TEMPORARY ENCLOSURE TO ENSURE BUILDING **REMAINS WATER & WEATHER-TIGHT.**

SELECTIVE DEMOLITION

- DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.
- PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO LOWER LEVEL, OR AS REQUIRED BY THE TIME FRAME OF THE PROJECT. CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES
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- **CUTTING OPERATIONS.** MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES. REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR
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- DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. EXCEPT FOR ITEMS OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, REMOVE DEMOLISHED MATERIALS FROM SITE

SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR

- AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL OR OTHER APPROPRIATE DISPOSAL/RECYCLING SERVICE. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
- REMOVE AND LEGALLY DISPOSE ALL EXISTING PLANT MATERIAL.
- UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS 1. EXISTING SERVICES/SYSTEMS: MAINTAIN EXISTING SERVICES AND PROTECT THEM
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ELECTRICAL DEMOLITION NOTES

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- TESTING: TEST ALL MAIN SERVICE AND PANELBOARD FEEDER WIRING TO REMAIN IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. REMOVE ANY AND ALL EXISTING WIRE NO LONGER IN USE.
- REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. CIRCUIT BREAKERS EXHIBITING ANY UNUSUAL CHARACTERISTIC SHALL BE SUBJECTED TO ELECTRICAL TESTS PER THE SAME REQUIREMENTS. REPLACE DEFECTIVE CIRCUIT BREAKERS WITH NEW OF SAME KIND, OR PER THE REQUIREMENTS OF THE ELECTRICAL ENGINEER, WHICHEVER IS MORE STRINGENT.

DEMOLISH IN SECTIONS. CUT CONCRETE FULL DEPTH AT JUNCTURE WITH CONSTRUCTION TO REMAIN AND AT REGULAR INTERVALS, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS. AT SLAB ON GRADE, SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED, THEN

MASONRY

DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY BETWEEN SAW CUTS.

BREAK UP AND REMOVE.

REMOVE FLOOR COVERINGS AND ADHESIVE ACCORDING TO RECOMMENDATIONS BY THE MANUFACTURER AND IN A MANNER IN WHICH PREPARES SURFACE FOR INSTALLATION OF NEW MATERIAL, PER THE MANUFACTURER'S RECOMMENDATIONS OF THE NEW MATERIAL.

CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN AND SUITABLE FOR OWNER OCCUPATION.

TEMPORARY SHORING

PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

PHASE 2 PHASE 1 FIRST FLOOR

PHASE 3 EXTG TO REMAIN ŜÑÔT IN SCOPE OF WORK

SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

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AD201.B **DEMOLITION RCP**

12.17.20

EXISTING EXTG OFFICE (D8)(D9)

EXISTING STORAGE -+-+-+-----

EXTG LOBBY

CIRCULATION

- - - + - - - + - - - + - - - + - - - + - - -

EXTG.

FILE

ROOM

EXTG. ELEV.

MECH.

 $\stackrel{ imes}{_{\sim}}\mathsf{EXTG}$

ELEV

~ 6 = = = = =

EXTG CUBICLE OFFICES

PHASE 1 EXTG OFFICE

EXTG

STAIR 1

PHASE 2: PHASE 1:

FIRST FLOOR- PHASE 2 DEMOLTION RCP

1/4" = 1'-0"

PHASE 2:

REFER TO

SHEET AD201.B ──►

PHASE 1:

REFER TO

– SHEET AD201.A 🖁

EXTG

EXTG

EXTG JAN

EXG TO

- REMAIN

EXTG

OFFICE

EXTG

MECH

EXTG

OFFICE

EXTG TO

REFER TO

SHEET AD202.A ──►

→ REMAIN

1 SECOND FLOOR- PHASE 3 DEMOLITION RCP
1/4" = 1'-0"

■ PHASE 3:

■ REFER TO SHEET

-EXTG

STAIR 1

- -EXTG -

-+---+---

EXTG

 $\stackrel{>}{\sim}$ ELEV $\stackrel{>}{\sim}$

AD202.A

REMOVE AND DISPOSE OF ALL INTERIOR FINISHES AND DEBRIS, THIS ROOM. CLEAN AREA TO RECEIVE NEW CONSTRUCTION AND FINISHES

ALL REMAINING FURNITURE IN SPACE TO BE REMOVED AND DISPOSED BY GC. GC TO COORDINATE WITH OWNER ON REMOVAL OF ALL ITEMS PRIOR TO DISPOSAL

REMOVE EXISTING WALL FOR NEW INTERIOR OPENING. SEE RENOVATION PLANS

AND INTERIOR ELEVATIONS FOR EXTENT EXISTING PLUMBING FIXTURES, TO BE REMOVED THIS AREA

EXISTING STOREFRONT, TO BE PARTIALLY REMOVED FOR NEW EXTERIOR ENTRY, SEE RENO PLANS AND RENO ELEVATIONS FOR EXTENT

(D6) EXTG STAIR TREADS TO BE REMOVED AND DISPOSED, THIS STAIRCASE ONLY (STAIR 2). PREPARE SURFACE TO RECEIVE NEW TREAD FINISH, SEE RENOVATION NOTES

PREPARE EXTG WALLS AND CEILING TO RECIEVE NEW PAINT FINISH, SEE RENOVATION NOTES. EXTG FLOORING TO REMAIN.

REFLECTED CEILING PLAN:

-**EXTG** --+--

(D8) EXTG MECHANICAL AND ELECTRICAL EQUIPMENT TO BE REMOVED DISPOSED, SEE MECHANICAL AND ELECTRICAL

D9) EXTG CEILING TILES AND GRID TO BE REMOVED AND DISPOSED

DEMOLITION LEGEND

NOTE: SEE DEMOLITION TAGS AND NOTES FOR MORE DETAILS. — — — EXISTING ELEMENT TO BE REMOVED

EXISTING DOOR TO BE REMOVED EXISTING WALL TO REMAIN

HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK

EXISTING WALL TO

BE REMOVED

EXISTING ELECTRICAL PANEL, TO REMAIN

■ STOREFRONT, TO BE

REMOVED

GENERAL DEMOLITION NOTES

EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. GENERAL CONTRACTOR TO PROTECT ALL ADJACENT SURFACES TO REMAIN FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO REPAIR/REPLACE ANY ADJACENT SURFACES DAMAGED DURING CONSTRUCTION TO MATCH

ORIGINAL CONDITIONS. GENERAL CONTRACTOR TO FIELD VERIFY CONDITIONS PRIOR TO START OF

CONSTRUCTION. ALL EXISTING EXTERIOR ALUMINUM STOREFRONT TO REMAIN, UNO.

DO NOT REMOVE MORE EXTERIOR WALL OR ROOF MATERIAL THAN WHAT CAN BE COVERED IN ONE DAY, OR PROVIDE TEMPORARY ENCLOSURE TO ENSURE BUILDING **REMAINS WATER & WEATHER-TIGHT.**

SELECTIVE DEMOLITION

DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITHIN LIMITATIONS OF GOVERNING REGULATIONS.

LOWER LEVEL, OR AS REQUIRED BY THE TIME FRAME OF THE PROJECT. CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID MARRING EXISTING FINISHED SURFACES. DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE

PROCEED WITH SELECTIVE DEMOLITION SYSTEMATICALLY, FROM HIGHER TO

MATERIALS. MAINTAIN PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-**CUTTING OPERATIONS.** MAINTAIN ADEQUATE VENTILATION WHEN USING CUTTING TORCHES.

REMOVE DECAYED, VERMIN-INFESTED, OR OTHERWISE DANGEROUS OR UNSUITABLE MATERIALS AND PROMPTLY DISPOSE OF OFF-SITE. NOTIFY ARCHITECT IMMEDIATELY OF DAMAGED OR DANGEROUS CONDITIONS.

LOCATE SELECTIVE DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY. EXCEPT FOR ITEMS

OR MATERIALS INDICATED TO BE REUSED, SALVAGED, REINSTALLED, OR OTHERWISE INDICATED TO REMAIN, REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF THEM IN AN EPA-APPROVED LANDFILL OR OTHER APPROPRIATE DISPOSAL/RECYCLING SERVICE. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.

REMOVE AND LEGALLY DISPOSE ALL EXISTING PLANT MATERIAL.

UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS 1. EXISTING SERVICES/SYSTEMS: MAINTAIN EXISTING SERVICES AND PROTECT THEM

AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS. SERVICE/SYSTEM REQUIREMENTS: LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS SERVICING AREAS TO BE SELECTIVELY DEMOLISHED.

ELECTRICAL DEMOLITION NOTES

COORDINATE DEMOLITION WORK WITH FACILITY OPERATIONS AND ALL OTHER TRADES. IDENTIFY SALVAGE ITEMS IN COOPERATION WITH OWNER. ERECT, AND MAINTAIN TEMPORARY SAFEGUARDS, INCLUDING WARNING SIGNS

AND LIGHTS, BARRICADES, AND SIMILAR MEASURES, FOR PROTECTION OF THE OWNER, CONTRACTOR'S EMPLOYEES, AND EXISTING IMPROVEMENTS TO REMAIN. PROVIDE TEMPORARY ELECTRICAL POWER AND EMERGENCY LIGHTING AS REQUIRED. ENSURE ALL CIRCUITS AND EQUIPMENT TO BE DEMOLISHED ARE SAFELY DE-

WALLS, FLOORS, AND CEILINGS SCHEDULES FOR REMOVAL. REMOVE EXPOSED WIRING AND CONDUIT IN CIRCUITS DESIGNATED TO BE ABANDONED. CUT CONCEALED CONDUIT FLUSH WITH WALLS AND FLOORS, PLUG CONDUITS AND PATCH SURFACES. REMOVE ALL DISCARDED MATERIALS PER THESE SPECIFICATIONS AND OWNERS'S

INSTRUCTION. RELOCATE, AND EXTEND EXISTING INSTALLATIONS TO ACCOMMODATE NEW CONSTRUCTION. KEEP ELECTRICAL POWER AND LIGHTING PANELS AS SPECIFIED ON THESE

DRAWINGS. RING OUT CIRCUITS IN EXISTING PANELS WHERE ADDITIONAL CIRCUITS ARE NEEDED. REUSE AVAILABLE CIRCUITS, INSTALL NEW CIRCUIT BREAKERS AS REQUIRED - SEE ELECTRICAL DRAWINGS. CLEAN AND REPAIR EXISTING EQUIPMENT TO REMAIN, BE SALVAGED, OR TO BE REINSTALLED. TESTING: TEST ALL MAIN SERVICE AND PANELBOARD FEEDER WIRING TO REMAIN

REMOVE ANY AND ALL EXISTING WIRE NO LONGER IN USE. REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION. CIRCUIT BREAKERS EXHIBITING ANY UNUSUAL CHARACTERISTIC SHALL BE SUBJECTED TO ELECTRICAL TESTS PER THE SAME REQUIREMENTS. REPLACE DEFECTIVE CIRCUIT BREAKERS WITH

DEMOLISH IN SECTIONS. CUT CONCRETE FULL DEPTH AT JUNCTURE WITH

MASONRY

CONSTRUCTION TO REMAIN AND AT REGULAR INTERVALS, USING POWER-DRIVEN SAW, THEN REMOVE CONCRETE BETWEEN SAW CUTS. AT SLAB ON GRADE, SAW-CUT PERIMETER OF AREA TO BE DEMOLISHED, THEN BREAK UP AND REMOVE.

DEMOLISH IN SMALL SECTIONS. CUT MASONRY AT JUNCTURES WITH CONSTRUCTION TO REMAIN, USING POWER-DRIVEN SAW, THEN REMOVE MASONRY

WHICHEVER IS MORE STRINGENT.

REMOVE FLOOR COVERINGS AND ADHESIVE ACCORDING TO RECOMMENDATIONS BY THE MANUFACTURER AND IN A MANNER IN WHICH PREPARES SURFACE FOR INSTALLATION OF NEW MATERIAL, PER THE MANUFACTURER'S RECOMMENDATIONS OF THE NEW MATERIAL.

CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN AND SUITABLE FOR OWNER OCCUPATION.

TEMPORARY SHORING

PROVIDE AND MAINTAIN SHORING, BRACING AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF SELECTIVE DEMOLITION.

PHASE 2 PHASE 1 FIRST FLOOR

PHASE 3 EXTG TO REMAIN ÑÔT IN SCOPE OF WORK

SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

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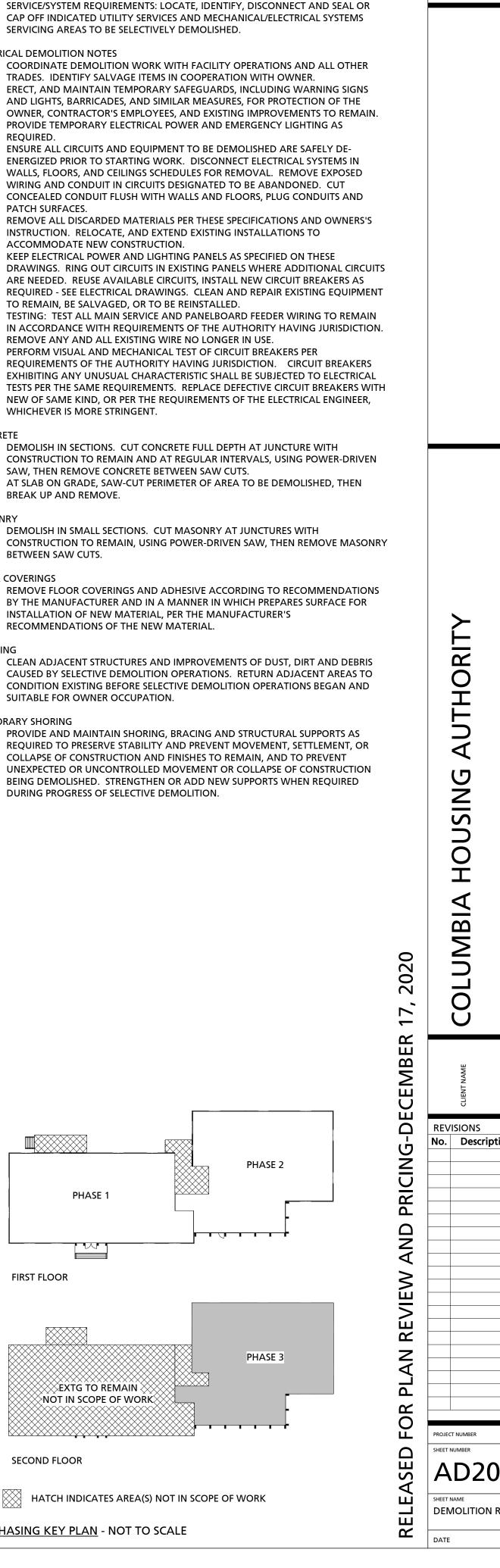
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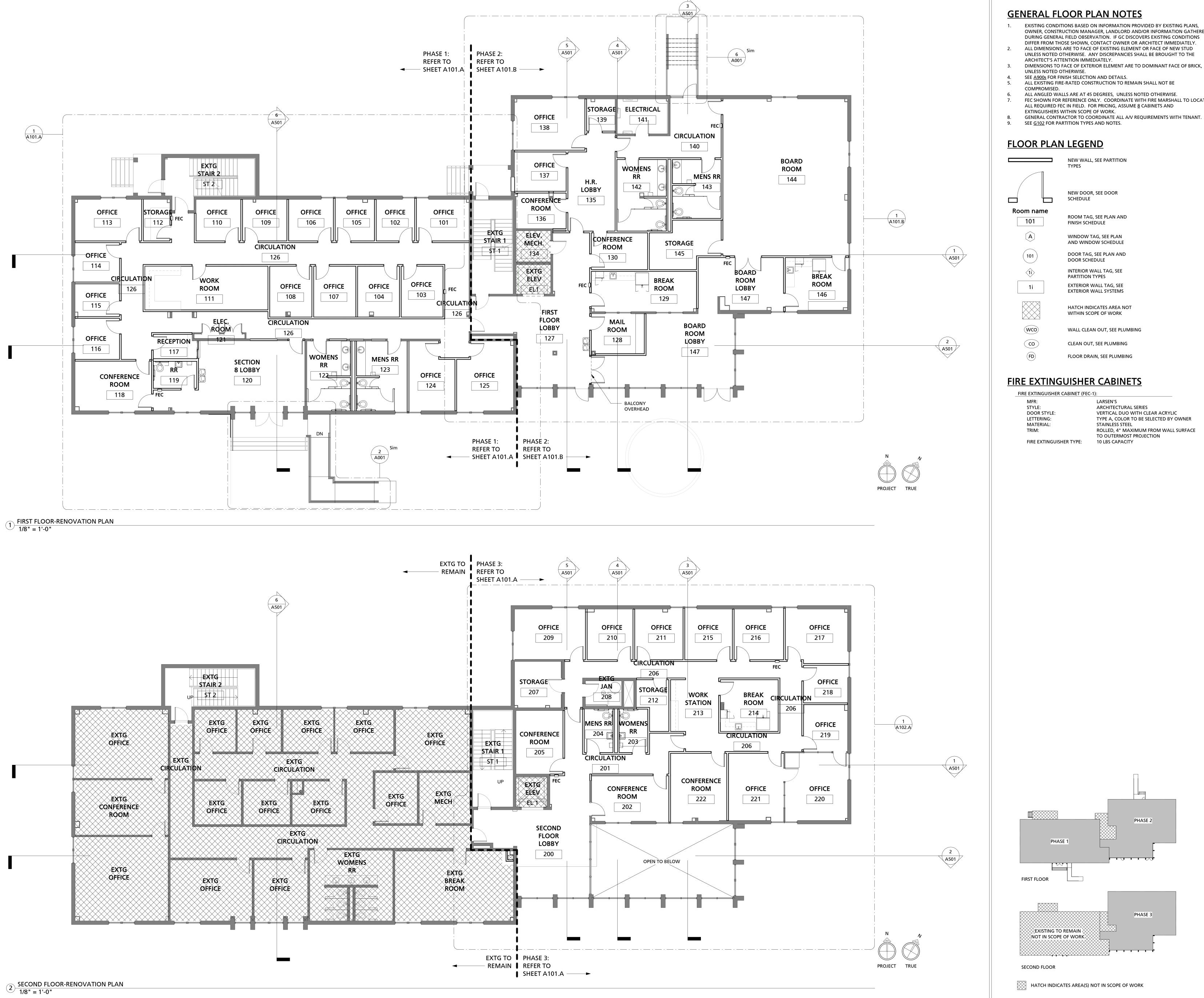
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AD202.A **DEMOLITION RCP**





EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY. ALL DIMENSIONS ARE TO FACE OF EXISTING ELEMENT OR FACE OF NEW STUD UNLESS NOTED OTHERWISE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE

ARCHITECT'S ATTENTION IMMEDIATELY. DIMENSIONS TO FACE OF EXTERIOR ELEMENT ARE TO DOMINANT FACE OF BRICK,

UNLESS NOTED OTHERWISE. SEE A900s FOR FINISH SELECTION AND DETAILS.

ALL EXISTING FIRE-RATED CONSTRUCTION TO REMAIN SHALL NOT BE COMPROMISED.

ALL ANGLED WALLS ARE AT 45 DEGREES, UNLESS NOTED OTHERWISE. FEC SHOWN FOR REFERENCE ONLY. COORDINATE WITH FIRE MARSHALL TO LOCATE ALL REQUIRED FEC IN FIELD. FOR PRICING, ASSUME <u>8</u> CABINETS AND EXTINGUISHERS WITHIN SCOPE OF WORK.

FLOOR PLAN LEGEND

NEW WALL, SEE PARTITION NEW DOOR, SEE DOOR SCHEDULE

> FINISH SCHEDULE WINDOW TAG, SEE PLAN AND WINDOW SCHEDULE DOOR TAG, SEE PLAN AND

ROOM TAG, SEE PLAN AND

INTERIOR WALL TAG, SEE PARTITION TYPES EXTERIOR WALL TAG, SEE EXTERIOR WALL SYSTEMS

DOOR SCHEDULE

WALL CLEAN OUT, SEE PLUMBING

CLEAN OUT, SEE PLUMBING

HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK

FLOOR DRAIN, SEE PLUMBING

FIRE EXTINGUISHER CABINETS

FIRE EXTINGUISHER CABINET (FEC-1)

ARCHITECTURAL SERIES VERTICAL DUO WITH CLEAR ACRYLIC DOOR STYLE: TYPE A, COLOR TO BE SELECTED BY OWNER STAINLESS STEEL ROLLED, 4" MAXIMUM FROM WALL SURFACE

TO OUTERMOST PROJECTION FIRE EXTINGUISHER TYPE: 10 LBS CAPACITY

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PHASE 3

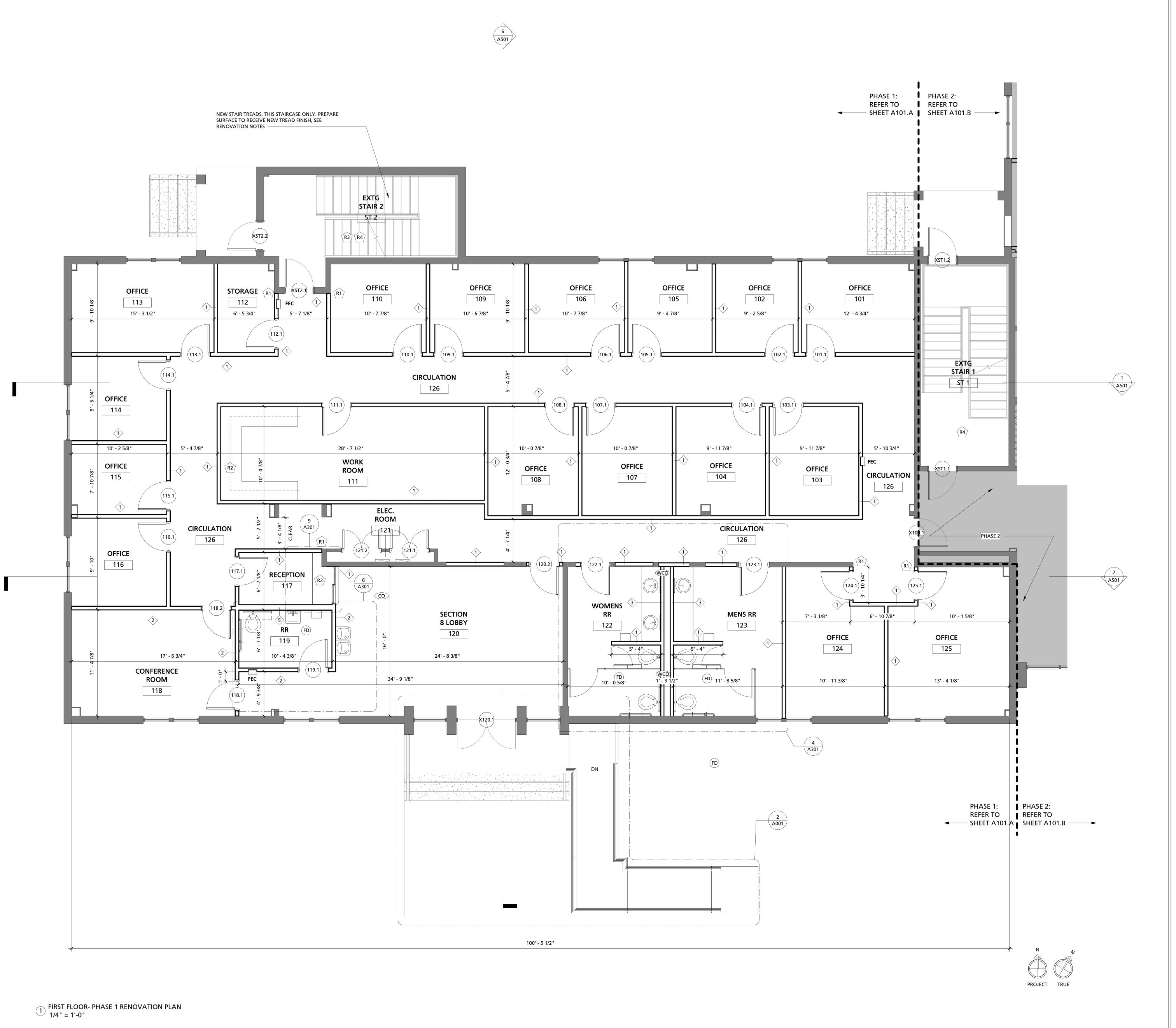
PHASE 2

SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

A101 FLOOR PLANS



- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
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- ARCHITECT'S ATTENTION IMMEDIATELY. DIMENSIONS TO FACE OF EXTERIOR ELEMENT ARE TO DOMINANT FACE OF BRICK, UNLESS NOTED OTHERWISE.
- SEE A900s FOR FINISH SELECTION AND DETAILS.
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EXTINGUISHERS WITHIN SCOPE OF WORK. 8. GENERAL CONTRACTOR TO COORDINATE ALL A/V REQUIREMENTS WITH TENANT. 9. SEE <u>G102</u> FOR PARTITION TYPES AND NOTES.

ROOM TAG, SEE PLAN AND

WALL CLEAN OUT, SEE PLUMBING

FLOOR DRAIN, SEE PLUMBING

FLOOR PLAN LEGEND

Room name

101

NEW WALL, SEE PARTITION NEW DOOR, SEE DOOR SCHEDULE

> WINDOW TAG, SEE PLAN AND WINDOW SCHEDULE 101 DOOR TAG, SEE PLAN AND

FINISH SCHEDULE

DOOR SCHEDULE

INTERIOR WALL TAG, SEE PARTITION TYPES EXTERIOR WALL TAG, SEE 1i EXTERIOR WALL SYSTEMS

HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK

CO CLEAN OUT, SEE PLUMBING

FIRE EXTINGUISHER CABINETS

FIRE EXTINGUISHER CABINET (FEC-1): STYLE: ARCHITECTURAL SERIES DOOR STYLE:

VERTICAL DUO WITH CLEAR ACRYLIC TYPE A, COLOR TO BE SELECTED BY OWNER STAINLESS STEEL ROLLED, 4" MAXIMUM FROM WALL SURFACE TO OUTERMOST PROJECTION FIRE EXTINGUISHER TYPE: 10 LBS CAPACITY

RENOVATION KEY NOTE LEGEND

FLOOR PLAN:

R1 ALIGN FINISHED FACE OF WALLS

LETTERING:

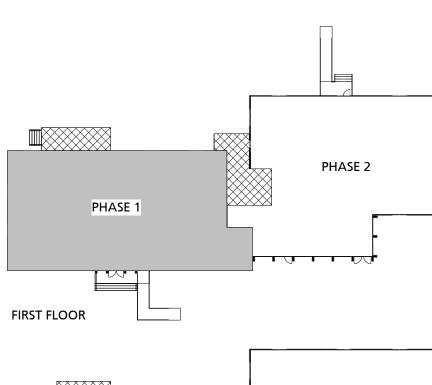
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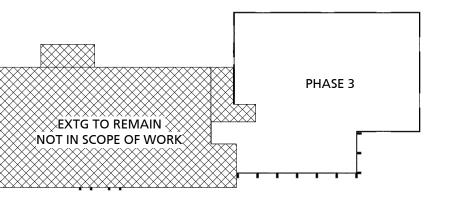
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- CASEWORK PROVIDED BY OWNER. CASEWORK BLOCKING TO BE PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE ONLY. GC TO COORDINATE FINAL BLOCKING LOCATIONS WITH OWNER.
- (R3) PROVIDE NEW RUBBER STAIR TREADS, THIS STAIRCASE ONLY (STAIR 2).
- PAINT WALLS AND CEILING, SEE FINISH SCHEDULE SHEET A901. EXTG FLOORING TO REMAIN.

REFLECTED CEILING PLAN:

PROVIDE BULK HEAD ASSEMBLY AT 6" BELOW CEILING AND EXTEND TO 6" ABOVE CEILING. BULKHEAD ASSEMBLY TO INCLUDE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE OF 3 5/8" METAL STUD. VERTICAL FACES PAINTED TO MATCH WALL COLOR. HORIZONTAL FACES TO BE PAINTED FLAT CEILING WHITE.





SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

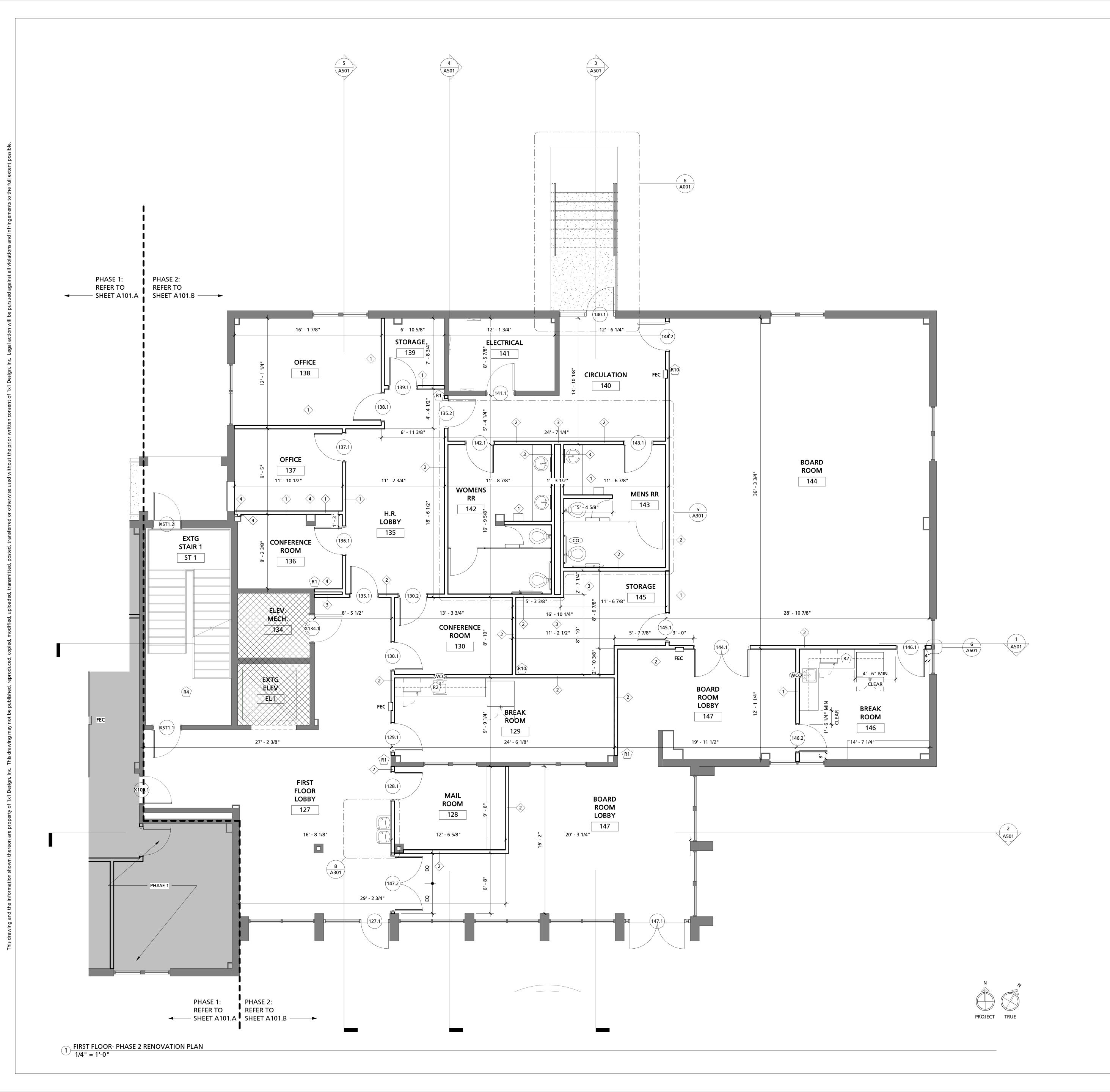
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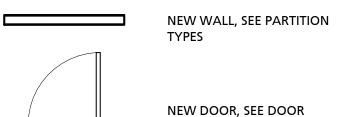
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A101.A FLOOR PLANS



- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- ALL DIMENSIONS ARE TO FACE OF EXISTING ELEMENT OR FACE OF NEW STUD UNLESS NOTED OTHERWISE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
- DIMENSIONS TO FACE OF EXTERIOR ELEMENT ARE TO DOMINANT FACE OF BRICK, UNLESS NOTED OTHERWISE.
- SEE <u>A900s</u> FOR FINISH SELECTION AND DETAILS. ALL EXISTING FIRE-RATED CONSTRUCTION TO REMAIN SHALL NOT BE
- COMPROMISED. ALL ANGLED WALLS ARE AT 45 DEGREES, UNLESS NOTED OTHERWISE.
- FEC SHOWN FOR REFERENCE ONLY. COORDINATE WITH FIRE MARSHALL TO LOCATE ALL REQUIRED FEC IN FIELD. FOR PRICING, ASSUME 8 CABINETS AND EXTINGUISHERS WITHIN SCOPE OF WORK.
- 8. GENERAL CONTRACTOR TO COORDINATE ALL A/V REQUIREMENTS WITH TENANT. 9. SEE <u>G102</u> FOR PARTITION TYPES AND NOTES.

FLOOR PLAN LEGEND



Room name ROOM TAG, SEE PLAN AND

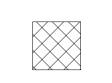
FINISH SCHEDULE WINDOW TAG, SEE PLAN AND WINDOW SCHEDULE

SCHEDULE



DOOR SCHEDULE INTERIOR WALL TAG, SEE PARTITION TYPES EXTERIOR WALL TAG, SEE

EXTERIOR WALL SYSTEMS



101

HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK



CLEAN OUT, SEE PLUMBING

WALL CLEAN OUT, SEE PLUMBING

FLOOR DRAIN, SEE PLUMBING

FIRE EXTINGUISHER CABINETS

FIRE EXTINGUISHER CABINET (FEC-1):

MFR: ARCHITECTURAL SERIES STYLE: VERTICAL DUO WITH CLEAR ACRYLIC DOOR STYLE: LETTERING: TYPE A, COLOR TO BE SELECTED BY OWNER MATERIAL: STAINLESS STEEL ROLLED, 4" MAXIMUM FROM WALL SURFACE TRIM:

TO OUTERMOST PROJECTION FIRE EXTINGUISHER TYPE: 10 LBS CAPACITY

RENOVATION KEY NOTE LEGEND

FLOOR PLAN:

- R1) ALIGN FINISHED FACE OF WALLS
- CASEWORK PROVIDED BY OWNER. CASEWORK BLOCKING TO BE PROVIDED BY GC LOCATIONS SHOWN FOR REFERENCE ONLY CO. PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE ONLY. GC TO COORDINATE FINAL BLOCKING LOCATIONS WITH OWNER.
- R3 PROVIDE NEW RUBBER STAIR TREADS, THIS STAIRCASE ONLY (STAIR 2).
- PAINT WALLS AND CEILING, SEE FINISH SCHEDULE SHEET A901. EXTG FLOORING TO REMAIN.

REFLECTED CEILING PLAN:

R5 PROVIDE BULK HEAD ASSEMBLY AT 6" BELOW CEILING AND EXTEND TO 6" ABOVE CEILING. BULKHEAD ASSEMBLY TO INCLUDE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE OF 3 5/8" METAL STUD. VERTICAL FACES PAINTED TO MATCH WALL COLOR. HORIZONTAL FACES TO BE PAINTED FLAT CEILING WHITE.

PHASE 2 PHASE 1 FIRST FLOOR PHASE 3

SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

XEXTG TO REMAIN XÑÕT IN SCOPE OF WOŘŘ

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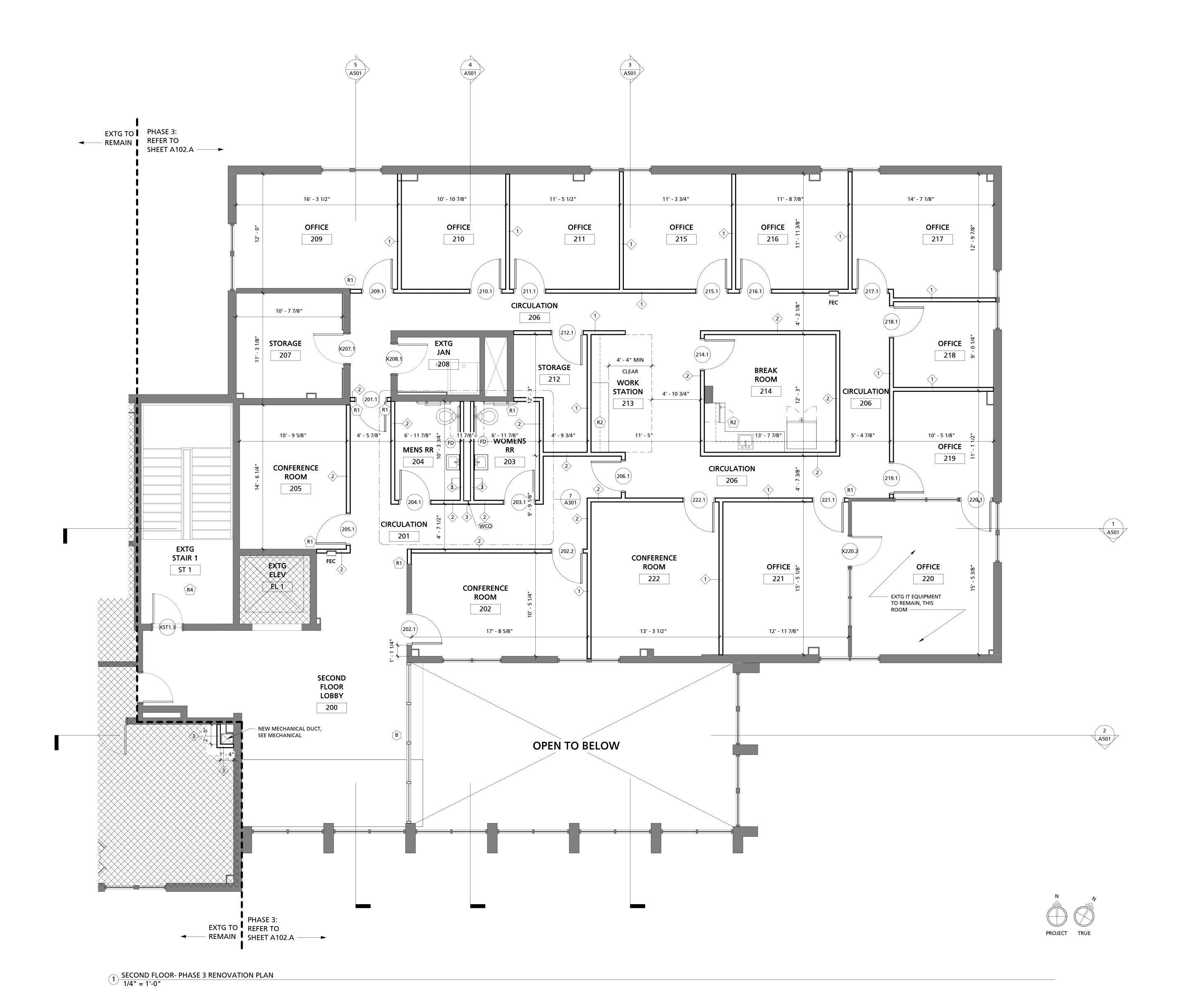
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A101.B FLOOR PLANS



- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- ALL DIMENSIONS ARE TO FACE OF EXISTING ELEMENT OR FACE OF NEW STUD UNLESS NOTED OTHERWISE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.
 - DIMENSIONS TO FACE OF EXTERIOR ELEMENT ARE TO DOMINANT FACE OF BRICK, UNLESS NOTED OTHERWISE.
 - SEE A900s FOR FINISH SELECTION AND DETAILS. ALL EXISTING FIRE-RATED CONSTRUCTION TO REMAIN SHALL NOT BE
- COMPROMISED. ALL ANGLED WALLS ARE AT 45 DEGREES, UNLESS NOTED OTHERWISE. FEC SHOWN FOR REFERENCE ONLY. COORDINATE WITH FIRE MARSHALL TO LOCATE ALL REQUIRED FEC IN FIELD. FOR PRICING, ASSUME <u>8</u> CABINETS AND
- EXTINGUISHERS WITHIN SCOPE OF WORK. 8. GENERAL CONTRACTOR TO COORDINATE ALL A/V REQUIREMENTS WITH TENANT. 9. SEE <u>G102</u> FOR PARTITION TYPES AND NOTES.

NEW WALL, SEE PARTITION

ROOM TAG, SEE PLAN AND

DOOR TAG, SEE PLAN AND

HATCH INDICATES AREA NOT

FLOOR DRAIN, SEE PLUMBING

FLOOR PLAN LEGEND

NEW DOOR, SEE DOOR SCHEDULE

Room name

101

WINDOW TAG, SEE PLAN AND WINDOW SCHEDULE

FINISH SCHEDULE

101 DOOR SCHEDULE INTERIOR WALL TAG, SEE PARTITION TYPES

EXTERIOR WALL TAG, SEE 1i EXTERIOR WALL SYSTEMS

WITHIN SCOPE OF WORK WALL CLEAN OUT, SEE PLUMBING

CO CLEAN OUT, SEE PLUMBING

FIRE EXTINGUISHER CABINETS

FIRE EXTINGUISHER CABINET (FEC-1):

LARSEN'S ARCHITECTURAL SERIES VERTICAL DUO WITH CLEAR ACRYLIC DOOR STYLE: TYPE A, COLOR TO BE SELECTED BY OWNER LETTERING: MATERIAL: STAINLESS STEEL

ROLLED, 4" MAXIMUM FROM WALL SURFACE TO OUTERMOST PROJECTION FIRE EXTINGUISHER TYPE: 10 LBS CAPACITY

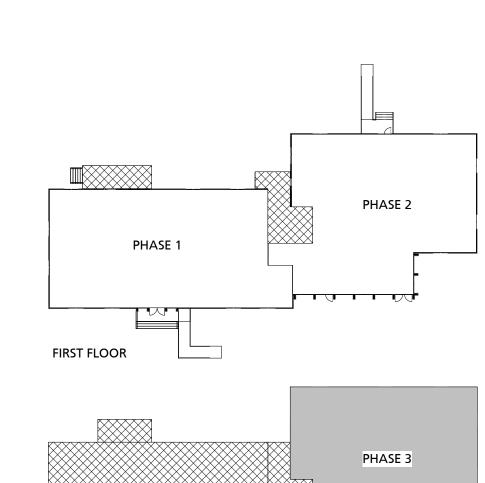
RENOVATION KEY NOTE LEGEND

FLOOR PLAN:

- R1 ALIGN FINISHED FACE OF WALLS
- CASEWORK PROVIDED BY OWNER. CASEWORK BLOCKING TO BE PROVIDED BY GC LOCATIONS SHOWN FOR RETURNS TO BE PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE ONLY. GC TO COORDINATE FINAL BLOCKING LOCATIONS WITH OWNER.
- R3 PROVIDE NEW RUBBER STAIR TREADS, THIS STAIRCASE ONLY (STAIR 2).
- PAINT WALLS AND CEILING, SEE FINISH SCHEDULE SHEET A901. EXTG FLOORING TO REMAIN.

REFLECTED CEILING PLAN:

PROVIDE BULK HEAD ASSEMBLY AT 6" BELOW CEILING AND EXTEND TO 6" ABOVE CEILING. BULKHEAD ASSEMBLY TO INCLUDE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE OF 3 5/8" METAL STUD. VERTICAL FACES PAINTED TO MATCH WALL COLOR. HORIZONTAL FACES TO BE PAINTED FLAT CEILING WHITE.



SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

EXTG TO REMAIN NOT IN SCOPE OF WORK

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A102.A FLOOR PLANS



- EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT
- IMMEDIATELY. ALL CEILING TILE TO BE CENTERED IN SPACE EXACTLY AS SHOWN UNLESS NOTED OTHERWISE. ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS. SEE SPECS. ALL GWB CEILINGS TO BE PAINTED FLAT CEILING WHITE, UNLESS NOTED
- OTHERWISE. SEE ELECTRICAL FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS. SEE ELECTRICAL FOR ALL EMERGENCY AND EGRESS FIXTURE LOCATIONS.
- SEE MECHANICAL FOR ALL MECHANICAL ELEMENTS. CEILING HEIGHT TO BE 9' - 0" AFF UNLESS NOTED OTHERWISE. COORDINATE WITH ELECTRICAL AND MECHANICAL FOR ALL FIXTURES AND
- EQUIPMENT SPECIFICATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION. WHERE ENGINEERING DRAWINGS CALL FOR ROOF PENETRATIONS WITH EXISTING ROOFING SYSTEM OR ROOF SYSTEM TO BE REPLACED, FLASH AND SEAL AS REQUIRED. EXIT SIGNS

REFLECTED CEILING PLAN LEGEND

2'x2' ACOUSTICAL PANEL CEILING (APC) (NEW). HEIGHT VARIES. 2'x4' ACOUSTICAL PANEL CEILING (APC) (NEW). HEIGHT VARIES. SUPPLY DIFFUSER, SEE MECHANICAL. RETURN REGISTER, SEE MECHANICAL. 2'x4' LIGHTING FIXTURE, SEE ELECTRICAL 2'x2' LIGHTING FIXTURE, SEE ELECTRICAL 2'x4' DOWN LIGHTING FIXTURE, SEE ELECTRICAL

EXIT SIGN, SEE ELECTRICAL

HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK

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PHASE 3

PHASE 2

EXTG TO REMAIN XÑÕT IN SCOPE OF WOŘŘ

SECOND FLOOR

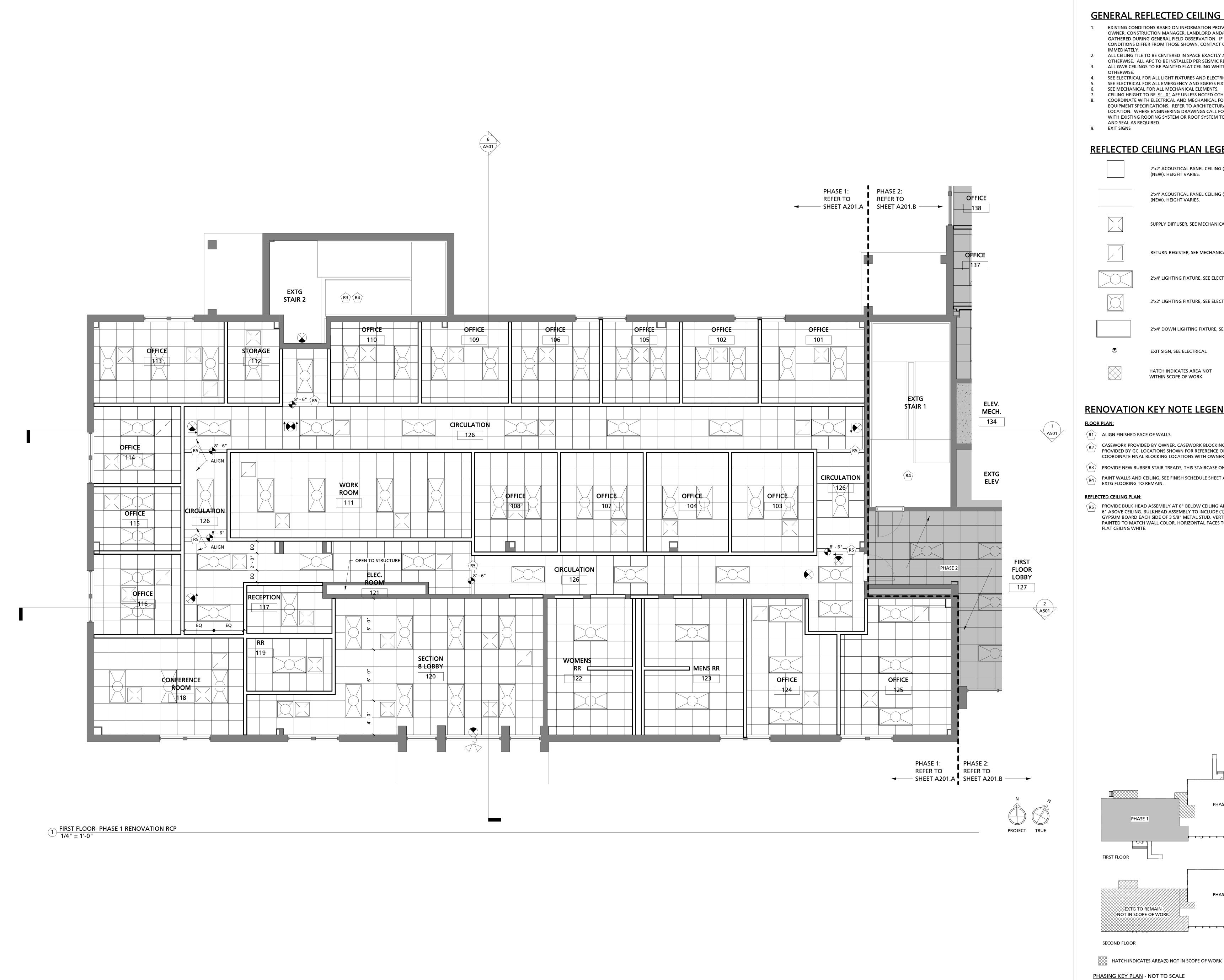
FIRST FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

PHASE 1

A201 REFLECTED CEILING PLAN



- 1. EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- 2. ALL CEILING TILE TO BE CENTERED IN SPACE EXACTLY AS SHOWN UNLESS NOTED OTHERWISE. ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS. SEE SPECS. ALL GWB CEILINGS TO BE PAINTED FLAT CEILING WHITE, UNLESS NOTED

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- OTHERWISE. 4. SEE ELECTRICAL FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS.
- SEE ELECTRICAL FOR ALL EMERGENCY AND EGRESS FIXTURE LOCATIONS. SEE MECHANICAL FOR ALL MECHANICAL ELEMENTS. CEILING HEIGHT TO BE 9' - 0" AFF UNLESS NOTED OTHERWISE.
- COORDINATE WITH ELECTRICAL AND MECHANICAL FOR ALL FIXTURES AND EQUIPMENT SPECIFICATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION. WHERE ENGINEERING DRAWINGS CALL FOR ROOF PENETRATIONS WITH EXISTING ROOFING SYSTEM OR ROOF SYSTEM TO BE REPLACED, FLASH AND SEAL AS REQUIRED.

REFLECTED CEILING PLAN LEGEND

2'x2' ACOUSTICAL PANEL CEILING (APC) (NEW). HEIGHT VARIES. 2'x4' ACOUSTICAL PANEL CEILING (APC) (NEW). HEIGHT VARIES. SUPPLY DIFFUSER, SEE MECHANICAL. RETURN REGISTER, SEE MECHANICAL. 2'x4' LIGHTING FIXTURE, SEE ELECTRICAL 2'x2' LIGHTING FIXTURE, SEE ELECTRICAL 2'x4' DOWN LIGHTING FIXTURE, SEE ELECTRICAL EXIT SIGN, SEE ELECTRICAL

RENOVATION KEY NOTE LEGEND

HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK

FLOOR PLAN:

- R1 ALIGN FINISHED FACE OF WALLS
- CASEWORK PROVIDED BY OWNER. CASEWORK BLOCKING TO BE PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE. PROVIDED BY GC. LOCATIONS SHOWN FOR REFERENCE ONLY. GC TO COORDINATE FINAL BLOCKING LOCATIONS WITH OWNER.
- R3 PROVIDE NEW RUBBER STAIR TREADS, THIS STAIRCASE ONLY (STAIR 2).
- PAINT WALLS AND CEILING, SEE FINISH SCHEDULE SHEET A901. EXTG FLOORING TO REMAIN.

PHASE 1

EXTG TO REMAIN NOT IN SCOPE OF WORK

REFLECTED CEILING PLAN:

R5 PROVIDE BULK HEAD ASSEMBLY AT 6" BELOW CEILING AND EXTEND TO 6" ABOVE CEILING. BULKHEAD ASSEMBLY TO INCLUDE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE OF 3 5/8" METAL STUD. VERTICAL FACES PAINTED TO MATCH WALL COLOR. HORIZONTAL FACES TO BE PAINTED FLAT CEILING WHITE.

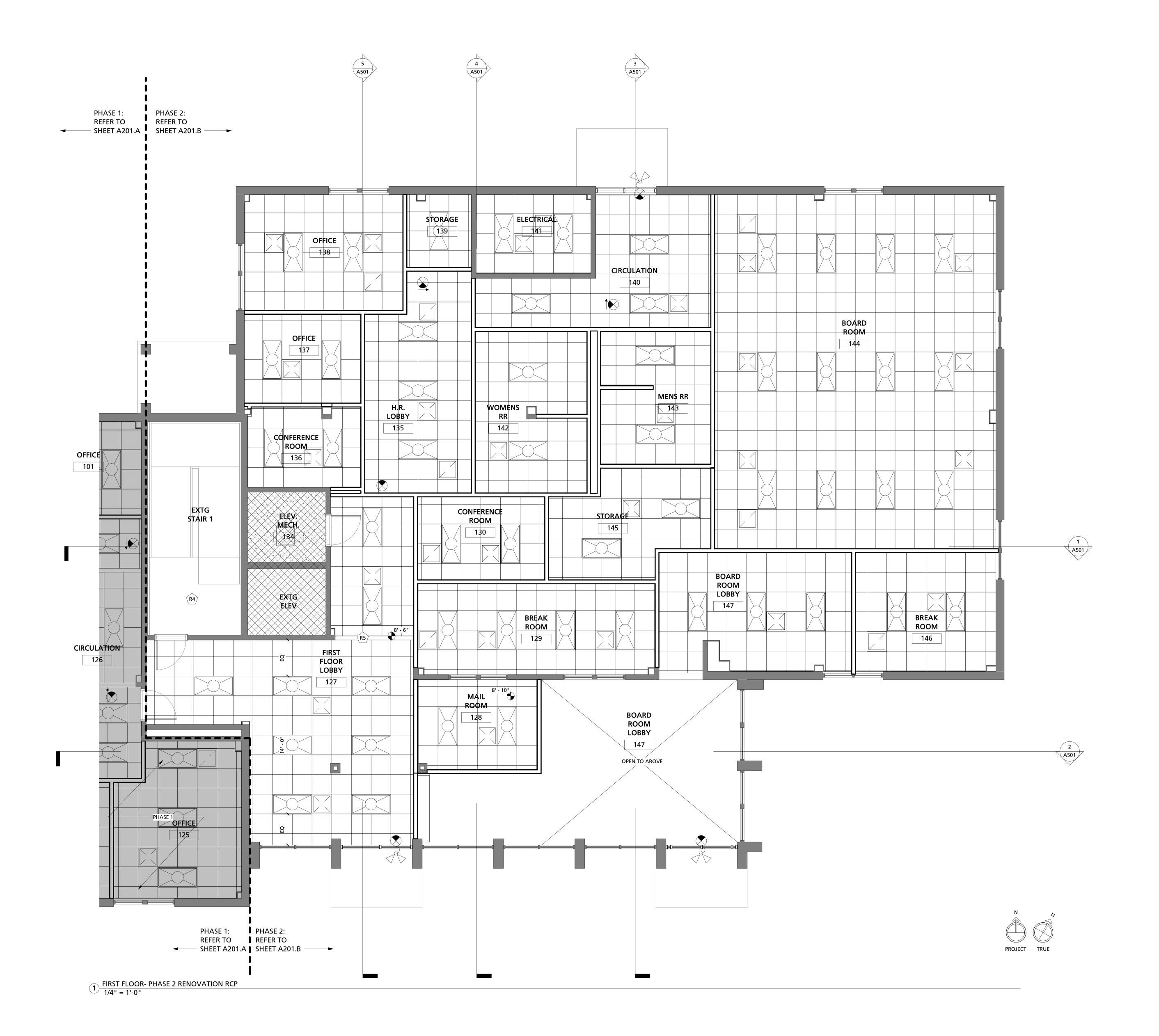
> REVISIONS No. Description Date PHASE 2

> > PHASE 3

A201.A REFLECTED CEILING PLAN

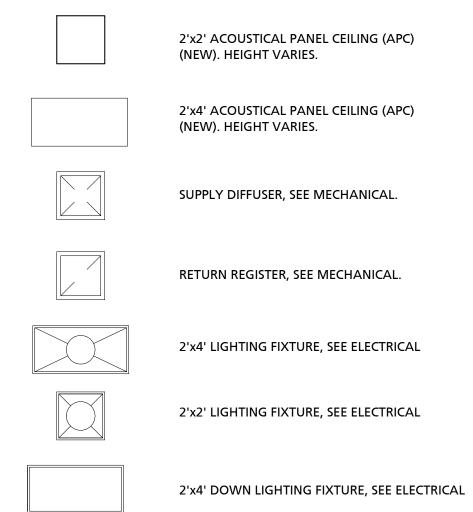
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DNISO



- 1. EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- 2. ALL CEILING TILE TO BE CENTERED IN SPACE EXACTLY AS SHOWN UNLESS NOTED OTHERWISE. ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS. SEE SPECS. ALL GWB CEILINGS TO BE PAINTED FLAT CEILING WHITE, UNLESS NOTED
- OTHERWISE. SEE ELECTRICAL FOR ALL LIGHT FIXTURES AND ELECTRICAL REQUIREMENTS.
- SEE ELECTRICAL FOR ALL EMERGENCY AND EGRESS FIXTURE LOCATIONS. SEE MECHANICAL FOR ALL MECHANICAL ELEMENTS. CEILING HEIGHT TO BE 9' - 0" AFF UNLESS NOTED OTHERWISE.
- COORDINATE WITH ELECTRICAL AND MECHANICAL FOR ALL FIXTURES AND EQUIPMENT SPECIFICATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION. WHERE ENGINEERING DRAWINGS CALL FOR ROOF PENETRATIONS WITH EXISTING ROOFING SYSTEM OR ROOF SYSTEM TO BE REPLACED, FLASH AND SEAL AS REQUIRED. EXIT SIGNS

REFLECTED CEILING PLAN LEGEND



RENOVATION KEY NOTE LEGEND

EXIT SIGN, SEE ELECTRICAL

HATCH INDICATES AREA NOT

WITHIN SCOPE OF WORK

FLOOR PLAN:

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- PAINT WALLS AND CEILING, SEE FINISH SCHEDULE SHEET A901. EXTG FLOORING TO REMAIN.

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> DNISO No. Description Date

221 PICKENS STREET (29205)

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COLUMBIA, SOUTH CAROLINA

29250

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803.834.4082 f

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EXTG TO REMAIN NOT IN SCOPE OF WORK HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK REFLECTED CEILING PLAN

PHASE 2

PHASE 3

PHASE 1

FIRST FLOOR

SECOND FLOOR

PHASING KEY PLAN - NOT TO SCALE



- 1. EXISTING CONDITIONS BASED ON INFORMATION PROVIDED BY EXISTING PLANS, OWNER, CONSTRUCTION MANAGER, LANDLORD AND/OR INFORMATION GATHERED DURING GENERAL FIELD OBSERVATION. IF GC DISCOVERS EXISTING CONDITIONS DIFFER FROM THOSE SHOWN, CONTACT OWNER OR ARCHITECT IMMEDIATELY.
- ALL CEILING TILE TO BE CENTERED IN SPACE EXACTLY AS SHOWN UNLESS NOTED OTHERWISE. ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS. SEE SPECS.
 ALL GWB CEILINGS TO BE PAINTED FLAT CEILING WHITE, UNLESS NOTED
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- SEE ELECTRICAL FOR ALL EMERGENCY AND EGRESS FIXTURE LOCATIONS.
 SEE MECHANICAL FOR ALL MECHANICAL ELEMENTS.
 CEILING HEIGHT TO BE <u>9' 0"</u> AFF UNLESS NOTED OTHERWISE.
- 8. COORDINATE WITH ELECTRICAL AND MECHANICAL FOR ALL FIXTURES AND EQUIPMENT SPECIFICATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATION. WHERE ENGINEERING DRAWINGS CALL FOR ROOF PENETRATIONS WITH EXISTING ROOFING SYSTEM OR ROOF SYSTEM TO BE REPLACED, FLASH AND SEAL AS REQUIRED.
 9. EXIT SIGNS

REFLECTED CEILING PLAN LEGEND

2'x2' ACOUSTICAL PANEL CEILING (APC) (NEW). HEIGHT VARIES.

2'x4' ACOUSTICAL PANEL CEILING (APC) (NEW). HEIGHT VARIES.

SUPPLY DIFFUSER, SEE MECHANICAL.

RETURN REGISTER, SEE MECHANICAL.

2'x4' LIGHTING FIXTURE, SEE ELECTRICAL

2'x2' LIGHTING FIXTURE, SEE ELECTRICAL

2'x4' DOWN LIGHTING FIXTURE, SEE ELECTRICAL

HATCH INDICATES AREA NOT WITHIN SCOPE OF WORK

RENOVATION KEY NOTE LEGEND

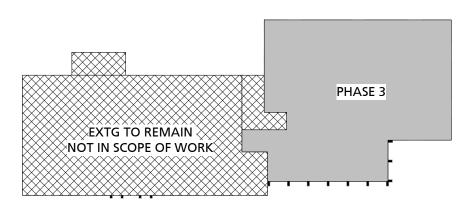
FLOOR PLAN:

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- R3 PROVIDE NEW RUBBER STAIR TREADS, THIS STAIRCASE ONLY (STAIR 2).
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PROVIDE BULK HEAD ASSEMBLY AT 6" BELOW CEILING AND EXTEND TO 6" ABOVE CEILING. BULKHEAD ASSEMBLY TO INCLUDE (1) LAYER 5/8" GYPSUM BOARD EACH SIDE OF 3 5/8" METAL STUD. VERTICAL FACES PAINTED TO MATCH WALL COLOR. HORIZONTAL FACES TO BE PAINTED FLAT CEILING WHITE.

PHASE 2
PHASE 1
FIRST FLOOR



SECOND FLOOR

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

DESIGN

221 PICKENS STREET (292
POST OFFICE BOX 587

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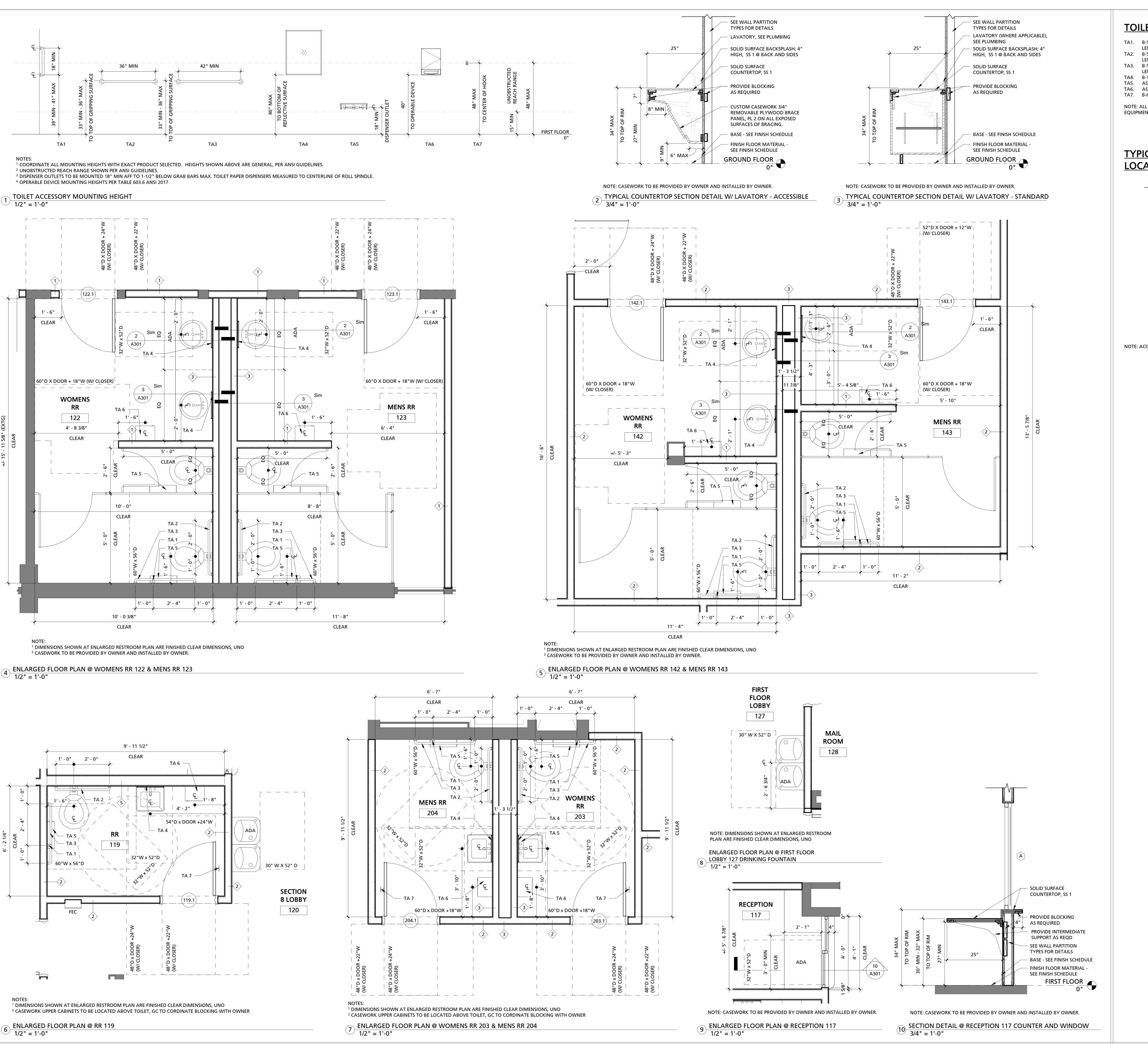
UMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENOVATION

COLUMBIA HO
PROJECT NAME
COLUMBIA HO
PROJECT NAME
COLUMBIA HO
1917 HARDEN

REVISIONS
No. Description Date

PROJECT NUMBER C-19SHEET NUMBER

PROJECT NUMBER
C-19-066-1
SHEET NUMBER
A202.A
SHEET NAME
REFLECTED CEILING PLAN

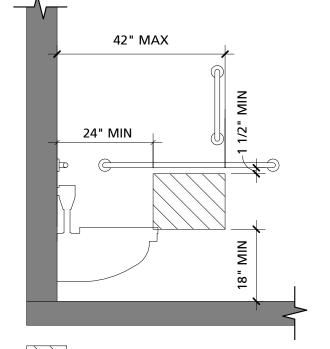


TOILET ACCESSORY NOTES

- TA1. B-5806.99 SERIES CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS, 18"
- TA2. B-5806.99 SERIES CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS, 36"
- LENGTH. TA3. B-5806.99 SERIES CONCEALED MOUNTING WITH SNAP FLANGE GRAB BARS, 42"
- LENGTH. TA4. B-165 24" X 30" SERIES FRAMED MIRROR
- TA5. ASI 0697-GAL TOILET PAPER HOLDERS W/SHELF
- TA6. ASI 8523A STAINLESS STEEL TOILET PAPER DISPENSERS TA7. B-6827 SURFACE MOUNTED HAT AND COAT HOOK
- NOTE: ALL TOILET ACCESSORIES EXCEPT TA 5 & TA 6 TO BE BY BOBRICK WASHROOM

EQUIPMENT, OR APPROVED EQUAL

TYPICAL TOILET ACCESSORY MOUNTING **LOCATION - PROTRUDING DISPENSERS**



ALLOWABLE LOCATION FOR PROTRUDING DISPENSER BELOW GRAB BAR

NOTE: ACCESSIBILITY STANDARDS ESTABLISHED PER ICC A117.1-2009 AND ADA 2010 EDITION.

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No. Description Date

A30

ENLARGED FLOOR PLAN

GENERAL ELEVATION NOTES

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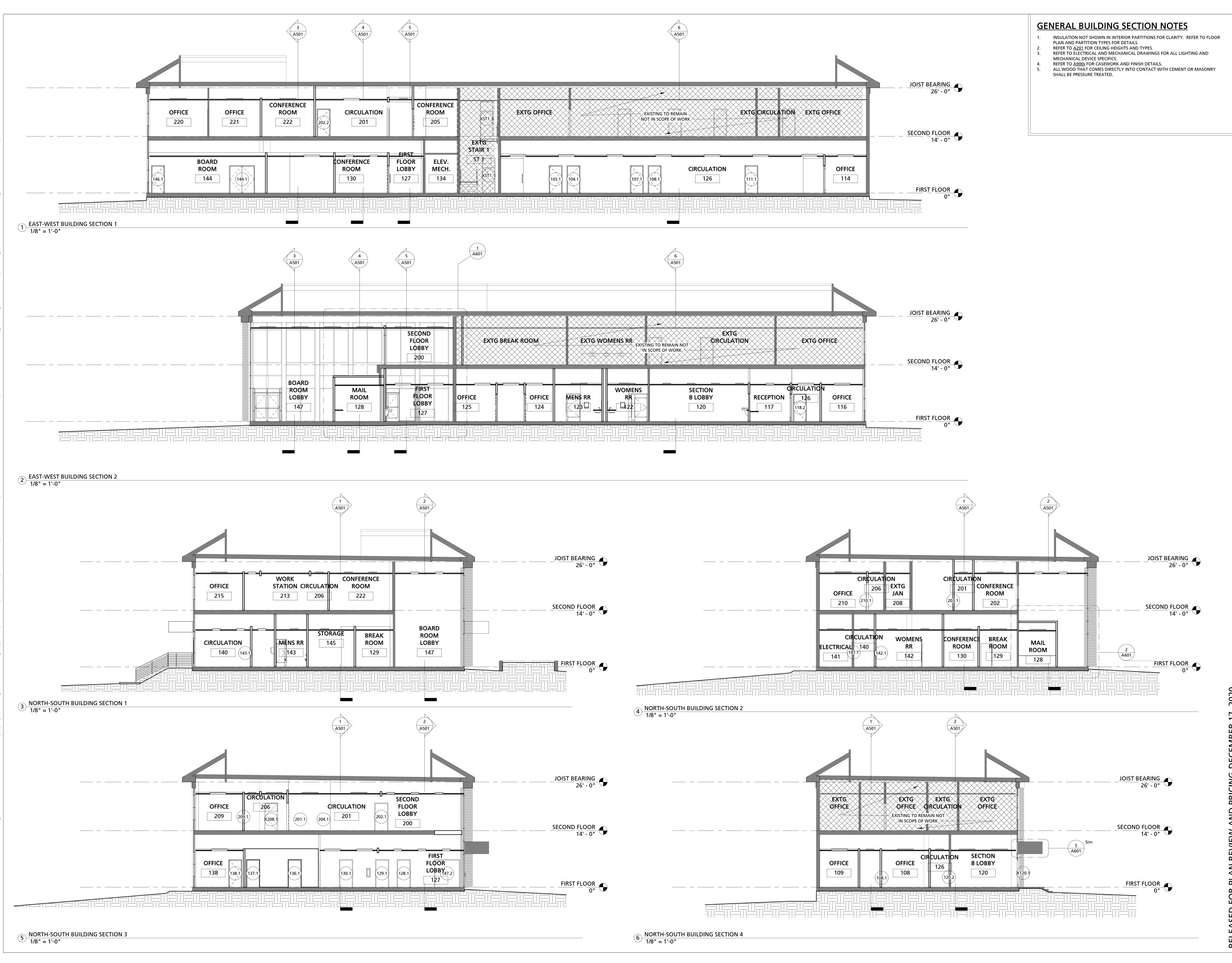
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HOUSING

No. Description Date

12.17.20

ELEVATIONS



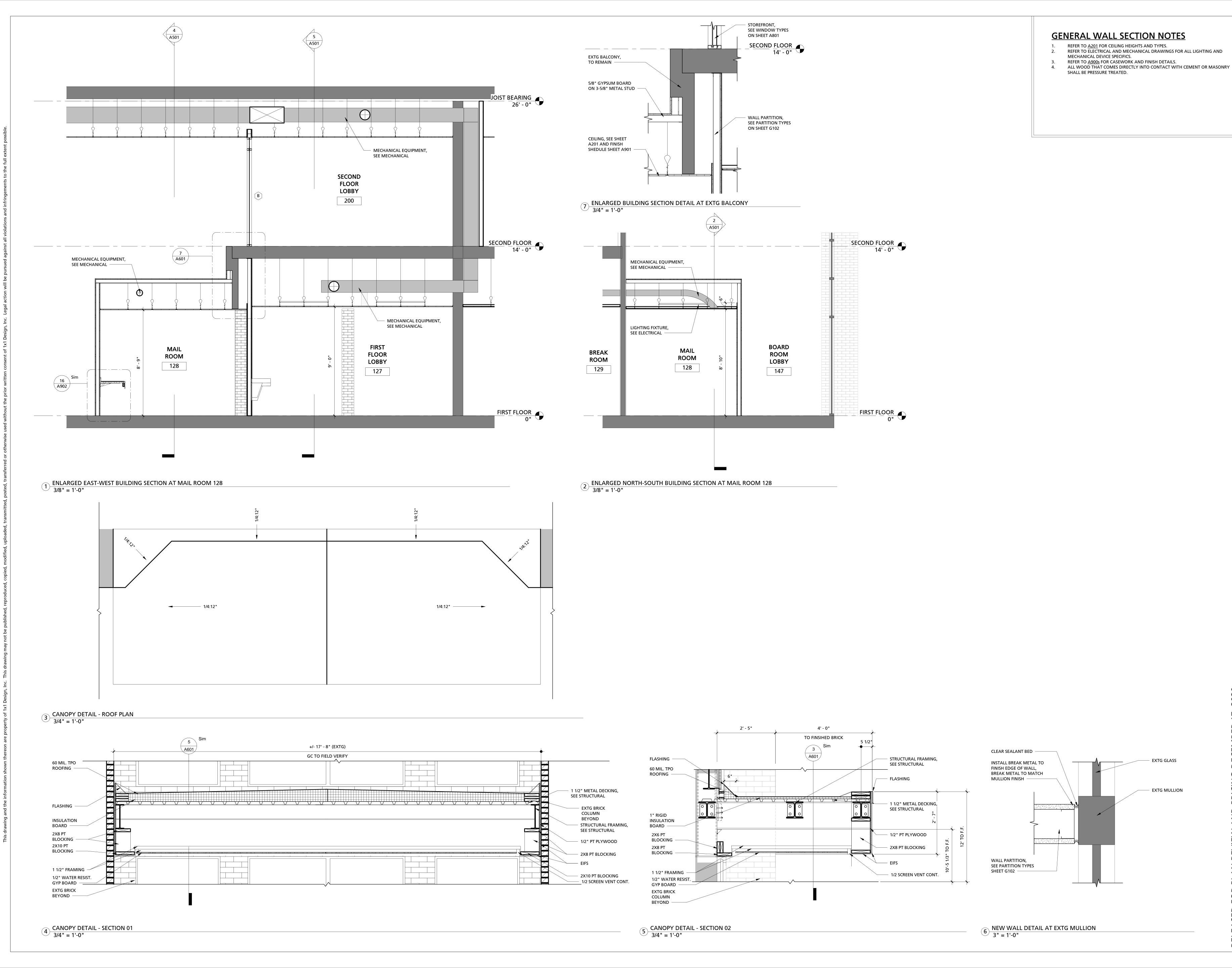
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HOUSING COLUMBIA

No. Description Date

SHEET NUMBER A501

SHEET NAME BUILDING SECTIONS 12.17.20



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COLUMBIA HOUSING AUTHORITY MAIN OFFICE BUILDING RENO

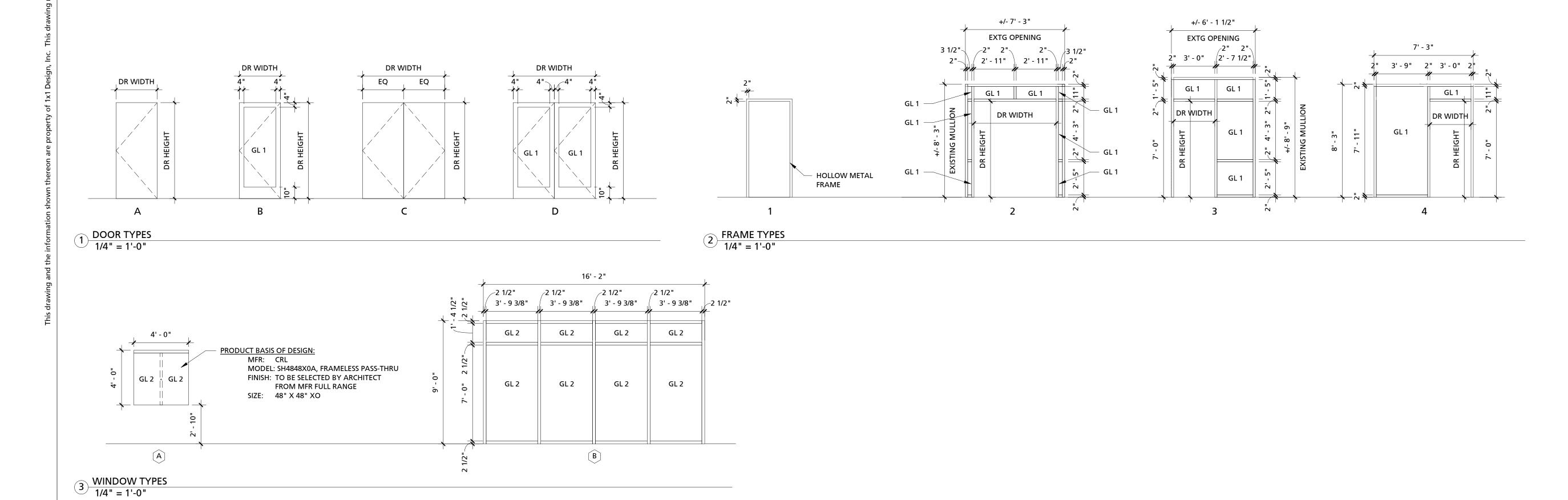
REVISIONS

No. Description Date

PROJECT NUMBER C-19-066-1
SHEET NUMBER
A601
SHEET NAME
WALL SECTIONS

| | | | | | | | | RENO | OVATION DOO | R SCHEDULE | |
|--------------|--------------|------|--------------------------|----------|---------------|-------------|------|-------------------|-------------|---|----------|
| NUMBER | SIZE WIDTH F | | DOOR
TYPE | MATERIAL | OOR
FINISH | FIRE RATING | TYPE | FRAME
MATERIAL | FINISH | HARDWARE COMMENTS | COMMENTS |
| | | | | | | IVATING | | | 11111311 | TIARD WARE COMMITTEE | COMMENTS |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | | |
| | | | A.36.80.00 | | ST 1 | | | HM | P 4 | | |
| | | | A.36.80.00 | | ST 1 | | 1 | HM | P 4 | | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | | |
| 7.1 | | - 8" | A.36.80.00 | WOOD | ST 1 | | 1 | НМ | P 4 | | |
|)8.1
)9.1 | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | | |
| | | | A.36.80.00 | | ST 1 | | 1 | HM | P 4 | | |
| | | | A.36.80.00 | | ST 1 | | | HM | P 4 | | |
| 12.1
13.1 | | | A.36.80.00
A.36.80.00 | | ST 1 | | 1 | HM
HM | P 4 | | |
| 14.1 | | | A.36.80.00 | | ST 1 | | 1 | НМ | P 4 | | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | | |
| 7.1 | 3' - 0" 6' | - 8" | A.36.80.00 | WOOD | ST 1 | | 1 | НМ | P 4 | | |
| 8.1
8.2 | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | PROVIDE CLOSER AS PART OF HARDWARE PACKAGE | |
| 9.1 | | | A.36.80.00
A.36.80.00 | | ST 1 | | 1 | HM | P 4 | PROVIDE CLOSER AS PART OF HARDWARE PACKAGE | |
| | | - 8" | A.36.80.00 | WOOD | ST 1 | | | HM | P 4 | PROVIDE CLOSER AS PART OF HARDWARE PACKAGE | |
| .1.1
.1.2 | | | C.48.80.00
C.48.80.00 | | ST 1 | | 1 | HM
HM | P 4 | | |
| | | | A.36.80.00 | | ST 1 | | 1 | HM | P 4 | PROVIDE CLOSER AS PART OF HARDWARE PACKAGE | |
| | | | A.36.80.00 | | ST 1 | | | HM | P 4 | PROVIDE CLOSER AS PART OF HARDWARE PACKAGE | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | | |
| 7.1 | | | B.36.84.00 | SF 1 | SF 1 | | | | SF 1 | PROVIDE CLOSER AND PANIC HARDWARE AS PART OF HARDWARE PACKAGE | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | | |
| | | | A.36.80.00 | | ST 1 | | | HM | P 4 | PROVIDE CLOSER AS PART OF HARDWARE PACKAGE | |
| | | | A.36.80.00 | | ST 1 | | | HM | P 4 | DROWING CLOSED AS DART OF HARDWARE DAGKAGE | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | PROVIDE CLOSER AS PART OF HARDWARE PACKAGE PROVIDE CLOSER AS PART OF HARDWARE PACKAGE | |
| 36.1 | 3' - 0" 6' | - 8" | A.36.80.00 | WOOD | ST 1 | | 1 | НМ | P 4 | | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | | |
| | | | A.36.80.00 | | ST 1 | | 1 | HM | P 4 | | |
| | | | B.36.84.00 | | SF 1 | | 3 | | SF 1 | PROVIDE CLOSER AND PANIC HARDWARE AS PART OF HARDWARE PACKAGE | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | 1 | HM
HM | P 4 | | |
| 13.1 | 3' - 0" 6' | - 8" | A.36.80.00 | WOOD | ST 1 | | | НМ | P 4 | | |
| | | | C.72.84.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | PROVIDE CLOSER AND PANIC HARDWARE AS PART OF HARDWARE PACKAGE PROVIDE CLOSER AND PANIC HARDWARE AS PART OF HARDWARE PACKAGE | |
| | | | A.36.80.00 | | ST 1 | | | HM | P 4 | THOUSE CEOSER AND PARIC HARDWARE AS PART OF HARDWARE PACKAGE | |
| | | | A.36.80.00 | | ST 1 | | 1 | HM | P 4 | | |
| | | | A.36.80.00
D.72.84.00 | | ST 1 | | | HM
SF 1 | P 4
SF 1 | INCLUDE PANIC HARDWARE WITH FALCON 1690 AS PART OF HARDWARE | |
| | | | | | | | | | | PACKAGE; COORDINATE WITH ACCESS CONTROL VENDOR | |
| | | | C.72.84.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | PROVIDE CLOSER AS PART OF HARDWARE PACKAGE PROVIDE CLOSER AS PART OF HARDWARE PACKAGE | |
| 2.1 | 3' - 0" 6' | - 8" | A.36.80.00 | WOOD | ST 1 | | | HM | P 4 | The state of the matter of the state of the | |
| | | | A.36.80.00 | | ST 1 | - | 1 | HM | P 4 | DROVIDE CLOSED AS DADT OF HADDIMADE DACKACE | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | 1 | HM
HM | P 4 | PROVIDE CLOSER AS PART OF HARDWARE PACKAGE PROVIDE CLOSER AS PART OF HARDWARE PACKAGE | |
| 5.1 | 3' - 0" 6' | - 8" | A.36.80.00 | WOOD | ST 1 | | 1 | НМ | P 4 | | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | PROVIDE CLOSER AS PART OF HARDWARE PACKAGE | |
| | | | A.36.80.00 | | ST 1 | | | | P 4 | | |
| | | | A.36.80.00 | | ST 1 | | | HM | P 4 | | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | | P 4 | | |
| 5.1 | 3' - 0" 6' | - 8" | A.36.80.00 | WOOD | ST 1 | | 1 | НМ | P 4 | | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | | P 4 | | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | | |
| 9.1 | | - 8" | A.36.80.00 | WOOD | ST 1 | | 1 | НМ | P 4 | | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 | | | HM
HM | P 4 | | |
| | | | A.36.80.00
A.36.80.00 | | ST 1 |
 | | | P 4 | | |

| | EXISTNG DOOR SCHEDULE | | | | | | | | | | | | | | |
|-------------------|-----------------------|--------|------------|----------|--------|--------|-------|----------|--------|-------------------|--------------------|--|--|--|--|
| | SI | ZE | | DOOR | | FIRE | FRAME | | | | | | | | |
| NUMBER | WIDTH | HEIGHT | TYPE | MATERIAL | FINISH | RATING | TYPE | MATERIAL | FINISH | HARDWARE COMMENTS | COMMENTS | | | | |
| (100.1 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |
| (120.1 | | | | XTR | XTR | | XTR | XTR | XTR | AC 1 | EXISTING TO REMAIN | | | | |
| (127.1 | XTR | XTR | B.36.84.00 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |
| X134.1 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |
| (144.4 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |
| (207.1 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |
| (208.1 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |
| < 220.2 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |
| (ST1.1 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |
| (ST1.2 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |
| (ST1.3 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |
| (ST2.1 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |
| (ST2.2 | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | XTR | EXISTING TO REMAIN | | | | |



GENERAL DOOR NOTES

- DOOR TYPE INDICATES DOOR TYPE, DOOR WIDTH (IN INCHES), DOOR HEIGHT (IN INCHES) AND RATING (IN MINUTES). FOR EXAMPLE, DOOR TYPE A.36.84.00 IS A DOOR TYPE "A", 36" IN WIDTH, 84" IN HEIGHT, WITH A "0" MINUTE FIRE RATING.
- 2. ALL DOORS TO BE LOCATED 6" FROM ADJACENT PERPENDICULAR WALL TO INSIDE FACE OF FRAME, UNLESS NOTED OTHERWISE. THIS DOES NOT APPLY TO STOREFRONT
- COORDINATE WITH MANUFACTURER'S REQUIREMENTS, STRUCTURAL DRAWINGS, AND PARTITION TYPES FOR EXACT PRODUCT SELECTED AND APPROVED FOR USE. FOR HEAD, JAMB AND SILL DETAILS GC SHALL BE RESPONSIBLE FOR COORDINATING DETAILS AS REQUIRED.
- ALL EXTERIOR DOORS TO MEET IECC 2009 REQUIREMENTS FOR U-FACTOR. ALL INTERIOR WOOD DOORS TO BE FLUSH. WOOD DOORS TO BE 5-PLY PREMIUM GRADE, BONDED CORE IN ACCORDANCE WITH THE WINDOW AND DOOR MANUFACTURERS ASSOCIATION ARCHITECTURAL WOOD FLUSH DOORS. SEE SHEET A901 FOR FINISH INFORMATION.

221 PICKENS STREET (29205)

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- 6. STEEL DOORS AND FRAMES: FABRICATE FRAMES OF MINIMUM 16 GAUGE COLD-ROLLED STEEL, DOUBLE RABBET PROFILE, MITERED CORNERS. PROVIDE FULLY WELDED FRAMES AT ALL EXTERIOR HM DOORS. KNOCK-DOWN FRAMES AT INTERIOR DOORS ARE ACCEPTABLE.
- COMPLY WITH NFPA 80 FOR FIRE RATED ASSEMBLIES. DOOR HARDWARE ALLOWANCE: \$500 PER LEAF FOR ALL NEW DOORS. FOR STOREFRONT DOORS, THIS IS TO INCLUDE CYLINDERS ONLY; ALL OTHER HARDWARE TO BE PART OF THE STOREFRONT PACKAGE. FINAL HARDWARE COORDINATION TO BE BY GC, OWNER, AND SUPPLIER AFTER BIDDING. 9. REFER TO A900s FOR FINISH DESIGNATIONS.
- 10. THE 2018 INTERNATIONAL FIRE CODE, SECTION 506.1, REQUIRES THAT WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFE-SAVING OR FIRE-FIGHTING PURPOSES, A KEY BOX SHALL BE PROVIDED AT THE REQUEST OF THE FIRE OFFICIAL, TO BE INSTALLED IN A LOCATION AS APPROVED BY THE FIRE OFFICIAL.

GENERAL STOREFRONT NOTES

- STOREFRONT SYSTEM TO BE THERMALLY BROKEN, FRONT-SET SYSTEM, WITH 1" INSULATED CLEAR GLAZING UNITS. PROVIDE SAFETY GLAZING UNITS WHERE INDICATED ON DRAWINGS. UNITS TO MEET IECC 2009 REQUIREMENTS FOR SHGC AND U-FACTOR REQUIREMENTS.
- STOREFRONT ELEVATIONS FOR EXTERIOR STOREFRONT ARE ILLUSTRATED FROM THE EXTERIOR ELEVATION.
- 3. STOREFRONT ELEVATIONS FOR INTERIOR STOREFRONT ARE ILLUSTRATED FROM THE DIRECTION INDICATED.

SF 1 - ALUMINUM FRAMED ENTRANCES AND STOREFRONT

EFCO OR EQUAL MFR: PRODUCT: SYSTEM 403 THERMAL STOREFRONT ENTRANCE PRODUCT: SERIES D 300 MEDIUM STILE ENTRANCE DOOR

TO MATCH EXISTING FINISH: COLOR: TO MATCH EXISTING

GL 1 - GLAZING AT EXTERIOR MFR: GUARDIAN INDUSTRIES CORP OR EQUAL CLEAR, INSULATED LAMINATED GLASS

PRODUCT: THICKNESS:

GL 2 - CLEAR INTERIOR GLAZING

MFR:

GUARDIAN INDUSTRIES CORP OR EQUAL PRODUCT: CLEAR TEMPERED GLASS THICKNESS: 1/4 INCH MIN

GENERAL ACCESS CONTROL NOTES

OWNER INTENDS TO ENTER INTO CONTRACT WITH IRMO LOCK AND KEY FOR ALL ACCESS CONTROL AND LOW VOLTAGE SECURITY DEVICES.

CONTACT INFO: IRMO LOCK AND KEY 7418 WOODROW STREET

IRMO, SC 29063 803.281.6969 guy.caskey@irmolock.com CONTACT: GUY CASKEY

ACCESS CONTROL SET 1 (AC 1) SELECT EXTERIOR DOORS LOCATION:

NUMBER: HARDWARE TYPE: ELECTRONIC ACCESS CONTROL READERS AT EACH DOOR

(BY ACCESS CONTROL) GC TO PROVIDE NEW HARDWARE, PER ALLOWANCE, ON **NEW DOORS ONLY**

ACCESS CONTROL SET 2 (AC 2) LOCATION: NUMBER:

NOTES:

SELECT INTERIOR DOORS HARDWARE TYPE:

ELECTRONIC WALL MOUNTED ACCESS CONTROL GC TO PROVIDE JUNCTION BOX AND CONDUIT TO 6" ABOVE CEILING WITH PULL STRING, PER ELECTRICAL DRAWINGS. TOTAL NUMBER OF LOCATIONS INDICATED ABOVE. GC TO COORDINATE FINAL LOCATIONS WITH OWNER. LOCKSETS TO BE STOREROOM FUNCTION. HARDWARE ALLOWANCE TO BE

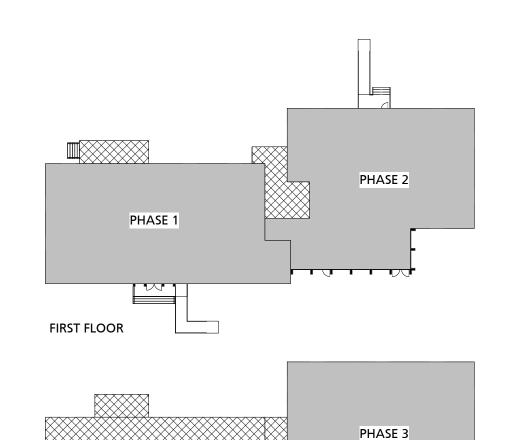
\$500 PER LEAF AT THESE LOCATIONS

ACCESS CONTROL SET 3 (AC 3)_ LOCATION: NUMBER:

SELECT INTERIOR DOORS

HARDWARE TYPE: ACCESS CONTROL AT KEYSET NOTES: GC TO PROVIDE DOOR, FRAME, AND HARDWARE EXCEPT LOCKSETS AT SELECT DOOR LOCATIONS. FINAL LOCATIONS TO BE COORDINATED BY GC WITH OWNER. HARDWARE

ALLOWANCE TO BE REDUCED BY \$200 PER LEAF AT THESE



SECOND FLOOR

EXTG TO REMAIN NOT IN SCOPE OF WORK

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

No. Description Date

DNISO

A801 DOOR/WINDOW SCHEDULE

| | | | | | ROOM | SCHEDULE | | |
|------|-----------------------------|----------------|--------|--------------------|-------|------------------------|-------|---|
| | | FLOOR | BASE | CEILING | WAL | L FINISH (PLAN ORIENTA | TION) | |
| NO. | NAME | FINISH | FINISH | FINISH | NORTH | SOUTH EAST | WEST | COMMENTS |
| 101 | OFFICE | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 104 | OFFICE | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| 105 | OFFICE | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | OFFICE OFFICE | LVT 1 | RB 1 | ACT 1
ACT 1 | | P1 P1 P1 | P1 P1 | |
| | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | WORK ROOM | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | STORAGE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 113 | OFFICE | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| 114 | OFFICE | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| 115 | OFFICE | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| 116 | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 117 | RECEPTION | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | CONFERENCE ROOM | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | RR
SECTION 8 LOBBY | LVT 1
LVT 1 | RB 1 | ACT 1
ACT 1 | | P1 P1 P1 | P1 P1 | |
| | ELEC. ROOM | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | WOMENS RR | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | MENS RR | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 125 | OFFICE | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| 126 | CIRCULATION | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| | FIRST FLOOR LOBBY | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| | MAIL ROOM | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | BREAK ROOM | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | CONFERENCE ROOM | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | ELEV. MECH.
H.R. LOBBY | LVT 1 | RB 1 | ACT 1 | | P1 P1 P1 | P1 P1 | |
| | CONFERENCE ROOM | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 137 | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 138 | OFFICE | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| 139 | STORAGE | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| 140 | CIRCULATION | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| | ELECTRICAL | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 142 | WOMENS RR | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | MENS RR
BOARD ROOM | LVT 1 | RB 1 | ACT 1 | | P1 P1 P1 | P1 P1 | |
| | STORAGE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | BREAK ROOM | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 201 | CIRCULATION | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| 202 | CONFERENCE ROOM | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| 203 | WOMENS RR | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | MENS RR | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | CONFERENCE ROOM CIRCULATION | LVT 1 | RB 1 | ACT 1 | | P1 P1 P1 | P1 | |
| | STORAGE | LVT 1 | RB 1 | ACT 1 | | P1 P1 P1 | P1 P1 | |
| | EXTG JAN | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 209 | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 210 | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 211 | OFFICE | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| | STORAGE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | WORK STATION | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | BREAK ROOM | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 215 | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | OFFICE OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 P1 | P1 P1 | |
| | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 221 | OFFICE | LVT 1 | RB 1 | ACT 1 | | P1 P1 | P1 | |
| 222 | CONFERENCE ROOM | LVT 1 | RB 1 | ACT 1 | P1 | P1 P1 | P1 | |
| _ | EXTG STAIR 1 | XTR | XTR | P5 (AS APPLICABLE) | | P1 P1 | P1 | PAINT WALLS AND CEILING. EXTG FLOORING TO REMAIN. |
| ST 2 | EXTG STAIR 2 | XTR | XTR | P5 (AS APPLICABLE) | P1 | P1 P1 | P1 | PAINT WALLS AND CEILING. EXTG FLOORING TO REMAIN. |

INTERIOR FINISH SPECIFICATION LEGEND RB 1 - RUBBER COVE BASE LVT 1 - LUXURY VINYL TILE SHAW FLOORING MFR: TARKETT COLLECTION: TERRAIN II STYLE: INFLECTION STYLE: TERRAIN II 20 MIL 0454V COLOR: 00 UNFINISHED COLOR: **ROOT 00568** SIZE: 5 1/4" SIZE: 6 IN X 48 IN NOTE: TO BE PAINTED TO MATCH EXTG THICKNESS: 2.5 MM *PROVIDE 1/2" QUARTER ROUND, 00-UNFINISHED & PAINTED TO MATCH EXTG WEAR LAYER: 20 MIL WARRANTY: 15 YEAR COMMERCIAL LIMITED WARRANTY P 2 - (EXTERIOR HANDRAILS) P 1 - (GENERAL WALL PAINT COLOR- 1ST & 2ND FLOOR) ROSE TALBERT ROSE TALBERT COLOR: 0196 OVERGROWN COLOR: CHOCOLATE #H0142 FINISH: FINISH: GLOSS EG-SHEL P 3 - (BASE) P 4 - (INTERIOR DOOR FRAMES) MFR: ROSE TALBERT MFR: ROSE TALBERT COLOR: COLOR: CHOCOLATE #H0142 WHITE FINISH: SEMI-GLOSS FINISH: P 5 - (GYPSUM CEILING @ INTERIOR STAIRS) ROSE TALBERT COLOR: WHITE FINISH: FLAT ST 1 - (STAIN AT DOORS) ALGOMA, OR EQUAL FINISH: FACTORY FINISH TO MATCH EXISTING EXEC SUITE DOORS BASIS OF DESIGN: MINWAX EARLY AMERICAN 230 WITH MINIWAX POLYURETHANE CLEAR GLOSS CEILING: SOLID SURFACE: ACT 1 - ACOUSTICAL CEILING TILE SS 1 - COUNTERTOP SOLID SURFACE ARMSTRONG TBD*

COLOR:

BACKSPLASH 2:*

TILE:

COLOR:

PATTERN:

GROUT:

TRIM:

TBD*

LOCATION: KITCHEN/BREAK ROOM

WHITE

WHITE

3 X 6 SUBWAY TILE

RONDEL PRO100

COORDINATE LOCATIONS WITH OWNER

STYLE: #933 COLOR: WHITE SIZE: 2' X 2' GRID: 15/16" PRELUDE WHITE **TOILET PARTITIONS**:** PH 1 - TOILET PARTITIONS**

COLUMBIA POLYLIFE OVERHEAD BRACED COLOR: PL-120 SANDSPECKLE ** PREFERRED VENDOR: NATIONAL SPECIALTIES

CONTACT: NAITONAL SPECIALTIES, 825 GARLAND STREET, COLUMBIA, SC 29201 803.256.9686

CASEWORK*:

GRANITE:* STYLE: **GRALLO VERONA** THICKNESS: 3 CM EDGE: EASED

BACKSPLASH 1:* LOCATION: 4" AT RESTROOMS ONLY

STYLE: **GRALLO VERONA** THICKNESS: 3 CM EDGE: EASED

CABINETS:* MFR/SPECIES: ECHELON/MAPLE DOORSTYLE: NORWICH LINEN

HARDWARE: 859-35N

*PROVIDED BY CAPITAL KITCHEN AND BATH, INSTALLED BY CONTRACTOR UNLESS DIRECTED OTHERWISE CONTACT: CAPITAL KITCHEN AND BATH, 1801 GERVAIS STREET, COLUMBIA, SC 29201 803.254.5889

GENERAL INTERIOR FINISH NOTES

- FOR FINISH LOCATIONS, REFER TO PLAN NORTH, SOUTH, EAST AND WEST FOR FINISH PLACEMENT.
- FIELD VERIFY ALL LOCATIONS FOR CASEWORK PLACEMENT, PRIOR TO FABRICATION. ENSURE ALL CLEARANCES ARE MET AND ACCOUNTED FOR.
- NOTIFY CONTRACTOR OF ANY DISCREPANCIES IMMEDIATELY. ALL INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. FINISHES SHALL MEET THE FOLLOWING REQUIREMENTS FOR NONSPRINKLERED BUILDING PER 2018 IBC EDITION WITH SOUTH CAROLINA MODIFICATIONS, TABLE 803.13, UNLESS NOTED OTHERWISE: <u>CLASS A</u> FOR INTERIOR EXIT STAIRWAYS AND RAMPS AND EXIT PASSAGEWAYS, CLASS B FOR CORRIDORS AND ENCLOSURES FOR EXIT ACCESS
- STAIRWAYS AND RAMPS, AND <u>CLASS C</u> FOR ROOMS AND ENCLOSED SPACES. INSTALL ALL MATERIALS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ALL APC TO BE INSTALLED PER SEISMIC REQUIREMENTS.
- PROVIDE PROPER MATERIAL TRANSITION STRIPS WHERE NEEDED.
- GENERAL CONTRACTOR TO COORDINATE ACOUSTICAL CEILING INSTALLATION WITH MILLWORK PROFILES. ALL PRODUCTS SELECTED ARE FOR BASIS OF DESIGN PURPOSES AND EQUAL
- PRICING EXERCISE. PLEASE ENSURE ANY SUBSTITUTIONS/ALTERNATES ARE REVIEWED WITH OWNER PRIOR TO INSTALLATION.

FLOOR PATTERN KEY



PT 1, SEE FINISH MATERIAL LEGEND



PT 2, SEE FINISH MATERIAL LEGEND



LVT 1, SEE FINISH MATERIAL LEGEND

221 PICKENS STREET (29205) POST OFFICE BOX 5875 COLUMBIA, SOUTH CAROLINA 29250 803.834.4048 p 803.834.4082 f

WWW.1X1DESIGN.COM



FINISH SCHEDULE

12.17.20

HOUSING



PHASE 2

PHASE 3

PHASE 1

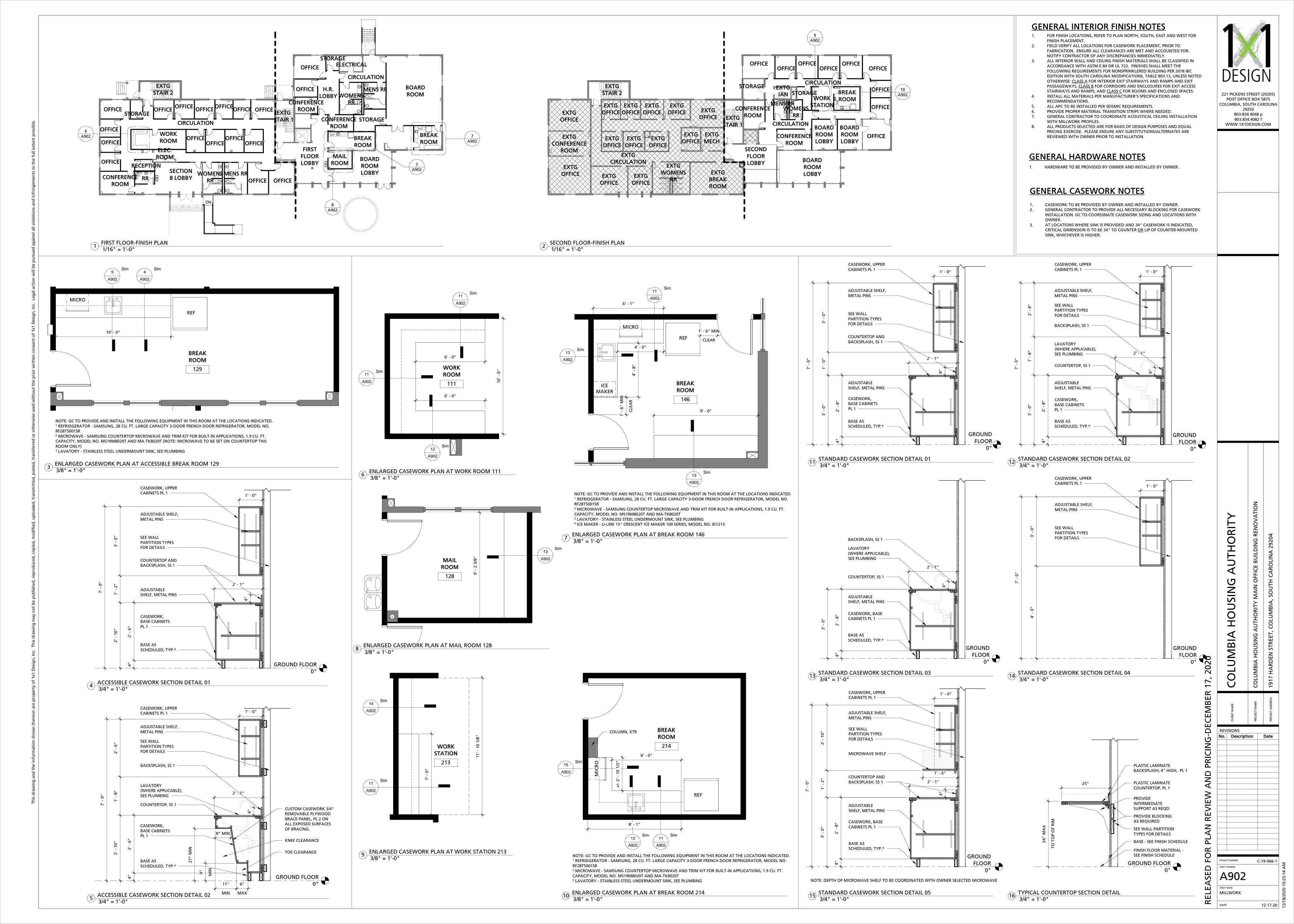
EXTG TO REMAIN NOT IN SCOPE OF WORK

PHASING KEY PLAN - NOT TO SCALE

HATCH INDICATES AREA(S) NOT IN SCOPE OF WORK

FIRST FLOOR

SECOND FLOOR



PART ONE : GENERAL

1.1 CONTRACT RESPONSIBILITIES A. THE AIA DOCUMENT A201 GENERAL CONDITIONS, CURRENT EDITION, SHALL APPLY TO THE

1.2 FIELD CONDITIONS

- THE GENERAL CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS. THE GC SHALL NOTIFY THE ARCHITECT IN WRITTEN FORM OF ANY VARIANCES PRIOR TO COMMENCING WORK. FAILURE TO REPORT DISCREPANCIES SHALL MAKE ANY COSTS INCURRED ARISING FROM THESE CONDITIONS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ANY HIDDEN OR UNCOVERED CONDITIONS SHALL BE REPORTED IN THE SAME MANNER AND WITH THE SAME RESTRICTIONS
- THE GC SHALL VERIFY SIZE AND LOCATION OF ALL FLOOR, ROOF AND WALL PENETRATIONS, EQUIPMENT, ETC. AND COORDINATE WITH MECHANICAL AND ELECTRICAL
- PRIOR TO EXCAVATION OR TRENCHING THE GC SHALL DETERMINE AND VERIFY LOCATION OF UTILITY SERVICES IN ALL AREAS TO BE EXCAVATED.
- THE GC SHALL COORDINATE ALL MILLWORK INSTALLATION WITH ELECTRICAL WORK AS
- CONTRACTOR TO INSPECT AND APPROVE ALL SURFACES PRIOR TO INSTALLATION OF ANY FINISHES. REMOVE ALL DIRT, DUST, ETC. FROM SURFACES TO BE FINISHED. SURFACE PROTRUSIONS, LOW SPOTS AND OTHER IMPERFECTIONS SHALL BE FILLED AND SANDED SO THAT SURFACE IS SMOOTH, DRY AND CLEAN.

- ANY CHANGES IN PLAN ARRANGEMENT OR DETAILING AND SPECIFIC INSTRUCTIONS FOR THE PROJECT WITHOUT THE PRIOR WRITTEN NOTIFICATION AND APPROVAL OF THE OWNER WILL VOID ANY OBLIGATIONS AND LIABILITIES SET FORTH BY THE OWNER. IF ANY SUBSTITUTIONS ARE PROPOSED AND APPROVED FOR SPECIFIC EQUIPMENT, THE GC AND HIS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ALL COORDINATION INCLUDING
- HVAC, PLUMBING, AND ELECTRICAL. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS. THE GC IS TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE DOCUMENTS. ANY DEVIATIONS FROM THE INTENT OF THE DOCUMENTS WITHOUT THE OWNERS WRITTEN APPROVAL IS AT THE CONTRACTOR'S OWN
- RISK, AND MAY RESULT IN THE WORK BEING REDONE AT THE CONTRACTOR'S EXPENSE. IN THE EVENT THAT THE QUALITY OR GRADE OF MATERIAL OR WORK IS NOT CLEARLY SPECIFIED, THE GC SHALL REQUEST CLARIFICATION FROM THE OWNER. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR ASSUME GRADE OR QUALITY.
- IN THE EVENT A DISCREPANCY OCCURS FROM ONE DRAWING TO ANOTHER, OR FROM THE SPECIFICATIONS, THE GENERAL QUALITY OR HIGHER QUALITY SHALL PREVAIL

1.4 PERMITTING + CODE COMPLIANCE

- THE GC SHALL APPLY FOR ALL PERMITS WHICH INVOLVE DRAWING SUBMITTAL AND PROCESSING, INCLUDING, BUT NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, PLUMBING, FIRE AND HEALTH PERMITS. THE GC SHALL OBTAIN THESE PERMITS AND PAY ALL PERMITTING FEES.
- THE GC SHALL ASSURE THAT ALL WORK IS DONE IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND REQUIREMENTS BY GOVERNING AGENCIES, WHETHER OR NOT SAID CODES, ORDINANCES, REQUIREMENTS, ETC ARE
- SPECIFICALLY SHOWN ON THE DRAWINGS AND/OR SPECIFICATIONS. CONSTRUCTION MATERIAL, ASSEMBLIES, AND PROCEDURES ARE TO COMPLY WITH ALL APPLICABLE CODES AND SUPPLEMENTARY ORDINANCES. WHEN A CONFLICT OCCURS BETWEEN SUCH CODES AND INFORMATION SHOWN ON THE DRAWINGS, THE GC SHALL CONSULT WITH THE OWNER'S REPRESENTATIVE AND/OR ARCHITECT FOR RESOLUTION PRIOR TO COMMENCING WORK.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE ACCESSIBILITY GUIDELINES [ie ADA] FOR BUILDINGS AND FACILITIES PER THE CURRENT FEDERAL REGISTER, INCLUDING
- MOUNTING HEIGHTS, CLEARANCES, ACCESSORIES, ET AL. THE GC SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS BY CODE OFFICIALS AND SHALL PAY INSPECTION FEES ASSOCIATED WITH THE WORK.
- PRIOR TO ISSUANCE OF THE BUILDING PERMIT, THE GC SHALL HAVE EVIDENCE OF CURRENT WORKER'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN
- COMPLIANCE WITH THE LOCAL LABOR CODE. AFTER OBTAINING THE BUILDING PERMIT AND BEFORE COMMENCING WITH THE WORK, THE GC SHALL SHOW EVIDENCE OF ALL INSURANCE REQUIREMENTS AS REQUIRED BY THE
- FOR PROJECTS REQUIRING DEMOLITION OF EXISTING MATERIALS AND CONSTRUCTION, PROPER DOCUMENTATION REGARDING THE PRESCENCE OR ABSENSE OF HAZARDOUR MATERIALS IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCITON ACTIVITIES.

- THE GC SHALL CONFIRM THE RECEIPT OF ALL MATERIALS AND VERIFY QUANTITIES WITH THE SHIPPING MANIFEST OR BILL OF LADING. THE GC SHALL NOTIFY THE OWNERS WITHIN 24 HOURS AFTER RECEIPT OF ANY MATERIALS MISSING FROM, OR DAMAGED DURING, A
- THE GC IS RESPONSIBLE FOR FILING FREIGHT CLAIMS DIRECTLY WITH THE CARRIER AND FOLLOWING THROUGH AS NECESSARY WITH ALL SUBSEQUENT PROCEDURES, INCLUDING INSPECTIONS AND REMOVAL OF DAMAGED MATERIALS.

PART TWO: PRODUCTS NOT APPLICABLE

PART THREE : EXECUTION

- WITHIN FIVE DAYS OF THE AWARD OF CONTRACT, THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH A PROPOSED PROJECT SCHEDULE INDICATING THE START AND
- COMPLETION DATES OF EACH STAGE OF THE WORK BY TRADE. THE GC IS TO HAVE THE SAME FULL-TIME QUALIFIED SUPERVISOR ON THE SITE
- THROUGHOUT THE ENTIRE PROJECT SCHEDULE.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF DAMAGE CAUSED BY HIS OPERATIONS TO THE WORK OF OTHER TRADES.
- THE EXISTING BUILDING WILL REMAIN IN USE DURING CONSTRUCTION. THE GC SHALL <u>COORDINATE SCHEDULING WITH THE OWNER AS NECESSARY</u> ALL LABOR AND MATERIALS, ALTHOUGH NOT SPECIFICALLY MENTIONED, BUT NECESSARY
- FOR THE COMPLETION OF THE WORK AND THE SUCCESSFUL OPERATION OF THE SYSTEMS, SHALL BE PROVIDED AS IF IT WAS SPECIFICALLY REQUESTED.

2.2 PROJECT CLEAN-UP + COMPLETION

- THE GC SHALL BE RESPONSIBLE FOR OVERALL CONSTRUCTION SITE CLEANLINESS, INCLUDING PROVISION OF A DUMPSTER WITH WEEKLY SERVICING AND REMOVAL OF ALL CONTRACTOR AND SUBCONTRACTOR REFUSE AND DEBRIS. THE GC SHALL SWEEP THE ENTIRE SITE AT THE COMPLETION OF THE WORKDAY.
- THE PREMISES SHALL BE TURNED OVER CLEAR OF ALL DEBRIS, BOXES, WRAPPING, PACKING, AND EXCESS MATERIALS. THE PREMISES SHALL BE LEFT IN BROOM-SWEPT
- ALL MIRRORS AND GLAZING TO BE CLEANED OF PROTECTIVE PADS, MASTICS, AND
- ALL ELECTRICAL PANELS AND BREAKERS TO BE PROPERLY MARKED. THE GC SHALL SET ALL TIMERS FOR PROPER OPERATION TIMES AS REQUIRED BY THE
- THE GC SHALL MOUNT A PERMANENTLY FRAMED CERTIFICATE OF OCCUPANCY IN A LOCATION TO BE DETERMINED BY THE OWNER AND BUILDING OFFICIALS.
- GUARANTEE: CONTRACTOR AGREES TO GUARANTEE ALL WORK, EQUIPMENT AND CONSTRUCTION PROVIDED BY HIM FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION. THIS IS IN ADDITION TO ANY WARRANTY OR GUARANTEES BY EQUIPMENT OR MATERIALS MANUFACTURERS. ANY DEFECTIVE OR NON CONFORMING

WORK SHALL BE REPAIRED AND/OR REPLACED AT THE OWNERS OPTION. ALL COSTS

ASSOCIATED WITH WARRANTY WORK SHALL BE BORNE SOLELY BY THE CONTRACTOR

SUMMARY OF WORK: SECTION 01010 PART ONE : GENERAL

1.1 PROJECT + WORK IDENTIFICATION

- THE PROJECT CONSISTS OF A RENOVATION TO THE EXISTING COLUMBIA HOUSING AUTHORITY BUILDING AS SHOWN ON CONTRACT DOCUMENTS PREPARED BY THE OWNER'S ARCHITECT AND
 - GC SHALL OBTAIN A CERTIFICATE OF OCCUPANCY FROM LOCAL BUILDING OFFICIALS PRIOR TO

MECHANICAL AND ELECTRICAL SYSTEMS IN OCCUPIED PORTIONS OF THE BUILDING.

- PRIOR TO PARTIAL TENANT OCCUPANCY, MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE
- OPERATIONAL. REQUIRED INSPECTIONS AND TESTS SHALL HAVE BEEN SUCCESSFULLY COMPLETED UPON OCCUPANCY, THE CONTRACTOR WILL PROVIDE OPERATIONAL AND MAINTENANCE OF

PROJECT MEETINGS: SECTION 01200

NOTE: ARCHITECT NOR ENGINEERS ARE UNDER CONTRACT TO PROVIDE FULL CONSTRUCTION ADMINSTRATION SERVICES. GC TO COORDINATE PROJECT MEETING REQUIREMENTS DIRECTLY WITH THE OWNER, BASED UPON GENERAL PRACTICES INDICATED BELOW.

1.1 QUALITY ASSURANCE PERSONS DESIGNATED BY CONTRACTORS, SUBCONTRACTORS AND MATERIAL SUPPLIERS TO ATTEND AND PARTICIPATE IN THE PROJECT PROCESS MEETINGS SHALL HAVE ALL REQUIRED AUTHORITY TO COMMIT THE FIRM THEY REPRESENT TO SOLUTIONS WHICH MAY BE AGREED UPON WITHIN THOSE MEETINGS.

- ALL MEETINGS SHALL BE HELD ON THE JOB SITE.
- THE GC WILL RECORD ALL SIGNIFICANT DISCUSSIONS AND AGREEMENTS AND/OR DISAGREEMENTS OR EACH CONFERENCE OR MEETING, ALONG WITH DATA RELATING TO
- DAYS THE RECORD OF THE MEETING TO EACH CONCERNED FIRM OR COMPANY, INCLUDING THE OWNER AND THE ARCHITECT.

CONSTRUCTION SCHEDULE CHANGES. THE GC WILL PROMPTLY DISTRIBUTE WITHIN THREE

PROJECT MEETINGS: SECTION 01200 CONTINUED

1.2 PRE CONSTRUCTION CONFERENCE

AFTER CONSULTATION WITH THE ARCHITECT, THE GC SHALL SCHEDULE A PRE CONSTRUCTION CONFERENCE AND ORGANIZATIONAL MEETING BEFORE STARTING CONSTRUCTION AT A TIME CONVENIENT TO THE OWNER, BUT NO LATER THAN 10 BUSINESS DAYS AFTER EXECUTION OF THE AGREEMENT. THE GC SHALL HOLD THE CONFERENCE AT THE JOB SITE, OR ANOTHER LOCATION CONVENIENT TO THE OWNER. THE GC SHALL CONDUCT THE MEETING TO REVIEW RESPONSIBILITIES AND PERSONNEL ASSIGNMENTS; THEREFORE, ALL CONTRACTORS INVOLVED IN THE PROJECT MUST ATTEND, UNLESS SPECIFICALLY EXCUSED BY THE OWNER'S

THE AGENDA SHALL ADDRESS ALL ITEMS OF SIGNIFICANCE THAT COULD AFFECT PROGRESS.

- A. THE GC SHALL CONDUCT BIWEEKLY PROGRESS MEETINGS AT THE PROJECT SITE. THE GC SHALL COORDINATE THE MEETING DATES WITH THE PREPARATION OF THE PAYMENT REQUEST, AND SHALL NOTIFY THE OWNER AND THE OWNER'S ARCHITECT OF SCHEDULED MEETING DATES.
- THE GC SHALL ENSURE THE ATTENDANCE OF ALL THE REQUIRED PARTIES, UNLESS SPECIFICALLY EXCUSED BY THE OWNER'S REPRESENTATIVE.
- ATTENDEES: IN ADDITION TO REPRESENTATIVES OF THE OWNER AND THE OWNER'S ARCHITECT, EACH SUBCONTRACTOR, SUPPLIER, OR OTHER ENTITY CONCERNED WITH THE CURRENT PROJECT PROGRESS, OR INVOLVED IN PLANNING, COORDINATION, OR PERFORMANCE OF FUTURE ACTIVITIES, SHALL BE REPRESENTED AT THE PROGRESS MEETING. ALL PARTICIPANTS AT THE CONFERENCE SHALL BE FAMILIAR WITH THE PROJECT AND AUTHORIZED TO CONCLUDE MATTERS RELATING TO THE WORK.
- THE AGENDA SHALL ADDRESS THE FOLLOWING ITEMS: THE REVIEW AND CORRECTION, OR APPROVAL OF THE PREVIOUS MEETING'S MINUTES.
 - ITEMS OF SIGNIFICANCE THAT MAY AFFECT JOB PROGRESS. TOPICS OF DISCUSSION APPROPRIATE TO THE PROJECT STATUS. TO THE MAXIMUM EXTENT PRACTICABLE, THE GC SHALL ADVISE THE OWNER, AT
 - LEAST 24 HOURS IN ADVANCE OF SCHEDULED MEETINGS, REGARDING ALL ITEMS TO BE ADDED TO THE AGENDA. THE PROGRESS REVIEW OF THE CONTRACTOR'S CONSTRUCTION SCHEDULE. THE GC SHALL DETERMINE THE PROGRESS OF EACH ACTIVITY IN RELATION TO THE
- CONSTRUCTION SCHEDULE, AND ADDRESS WHETHER IT IS ON TIME OR BEHIND SCHEDULE. THE GC SHALL DETERMINE HOW ITEMS WHICH ARE BEHIND SCHEDULE WILL BE EXPEDITED, AND SECURE COMMITMENTS FROM THE APPLICABLE CONTRACTORS AND SUPPLIERS. THE GC SHALL DISCUSS WHETHER SCHEDULE REVISIONS ARE REQUIRED TO ENSURE THAT CURRENT AND FUTURE ACTIVITIES WILL BE COMPLETED WITHIN THE CONTRACT TIME.
- THE GC SHALL TAKE DETAILED MEETING NOTES, AND DISTRIBUTE MEETING MINUTES TO ALL ATTENDEES WITHIN 48 HOURS OF THE PROGRESS MEETING.

| SUBMITTALS : SECTION 01300

PROJECT ARCHITECT.

PART ONE : GENERAL

NOTE: ARCHITECT NOR ENGINEERS ARE UNDER CONTRACT TO PROVIDE FULL CONSTRUCTION ADMINSTRATION SERVICES. GC TO COORDINATE SUBMITTAL REQUIREMENTS DIRECTLY WITH THE OWNER, BASED UPON GENERAL PRACTICES INDICATED BELOW.

- 1.1 SUBMITTAL PROCEDURES COORDINATION: COORDINATE PREPARATION AND PROCESSING OF SUBMITTALS WITH PERFORMANCE OF CONSTRUCTION ACTIVITIES. TRANSMIT EACH SUBMITTAL SUFFICIENTLY IN ADVANCE OF PERFORMANCE OF RELATED CONSTRUCTION ACTIVITIES TO AVOID DELAY.
 - COORDINATE EACH SUBMITTAL WITH FABRICATION, PURCHASING, TESTING, DELIVERY, OTHER SUBMITTALS, AND RELATED ACTIVITIES THAT REQUIRE SEQUENTIAL ACTIVITY.

THE GC IS RESPONSIBLE FOR DELIVERY OF ALL SUBMITTALS TO THE OFFICES OF THE

- COORDINATE TRANSMITTAL OF DIFFERENT TYPES OF SUBMITTALS FOR RELATED ELEMENTS OF THE WORK SO PROCESSING WILL NOT BE DELAYED BY THE NEED TO REVIEW SUBMITTALS CONCURRENTLY FOR COORDINATION
- THE PROJECT ARCHITECT RESERVES THE RIGHT TO WITHHOLD ACTION ON A SUBMITTAL REQUIRING COORDINATION WITH OTHER SUBMITTALS UNTIL ALL RELATED SUBMITTALS ARE RECEIVED. THE GC IS EXPECTED TO COORDINATED SUBMITTALS TO MINIMIZE SUCH ACTION.
- PROCESSING: TO AVOID THE NEED TO DELAY INSTALLATION AS A RESULT OF THE TIME REQUIRED TO PROCESS SUBMITTALS, ALLOW SUFFICIENT TIME FOR SUBMITTAL REVIEW, INCLUDING TIME FOR RESUBMITTAL

SUBMITTALS.

PROCESSED

IF AN INTERMEDIATE SUBMITTAL IS NECESSARY, PROCESS THE SAME AS THE INITIAL

MUST DELAY PROCESSING TO PERMIT COORDINATION WITH SUBSECUENT

ALLOW ONE WEEK FOR INITIAL REVIEW. ALLOW ADDITIONAL TIME IF THE ARCHITECT

- ALLOW TWO WEEKS FOR REPROCESSING EACH SUBMITTAL.
- THE ARCHITECT MAY ADVISE THE CONTRACTOR WHEN A SUBMITTAL BEING MUST BE DELAYED FOR COORDINATION. IT IS THE GC'S RESPONSIBILITY TO FULLY

COORDINATE ALL SUBMITTAL REQUIREMENTS, INCLUDING THOSE OF

- NO EXTENSION OF CONTRACT TIME WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS TO THE ARCHITECT WITH SUFFICIENT TIME AS DESCRIBE HEREIN TO PERMIT PROCESSING.
- SUBMIT FIVE COPIES OF EACH SUBMITTAL TO THE PROJECT ARCHITECT.
- SUBMITTAL PREPARATION : PLACE A PERMANENT LABEL OR TITLE BLOCK ON EACH SUBMITTAL FOR IDENTIFICATION. INDICATE THE NAME OF THE ENTITY THAT PREPARED EACH SUBMITTAL ON THE LABEL OR TITLE BLOCK. INCLUDE THE FOLLOWING INFORMATION ON THE LABEL FOR PROCESSING AND
 - RECORDING THE ACTION TAKEN. PROJECT NAME

SUBCONTRACTORS.

- NAME + ADDRESS OF THE ARCHITECT
- NAME + ADDRESS OF THE CONTRACTOR NAME + ADDRESS OF THE SUBCONTRACTOR, OR
- NAME + ADDRESS OF THE SUPPLIER, OR NAME OF THE MANUFACTURER
- NUMBER AND TITLE OF APPROPRIATE SPECIFICATION SECTION
- DRAWING NUMBER AND DETAIL REFERENCES, AS NECESSARY SUBMITTAL NUMBER
- SUBMITTAL TRANSMITTAL: PACKAGE EACH SUBMITTAL APPROPRIATELY FOR TRANSMITTAL
- HANDLING. TRANSMIT EACH SUBMITTAL FROM THE CONTRACTOR TO THE PROJECT ARCHITECT USING A TRANSMITTAL FORM. THE GC SHALL NOT TRANSIT SUBMITTALS TO THE

| CONSULTANTS. THE PROJECT ARCHITECT WILL NOT ACCEPT SUBMITTALS RECEIVED FROM SOURCES OTHER THAN

THE GC. 1.2 SHOP DRAWINGS

SUBMIT NEWLY PREPARED INFORMATION DRAWN ACCURATELY TO SCALE. HIGHLIGHT, ENCIRCLE, OR OTHERWISE INDICATE DEVIATIONS FROM THE CONTRACT DOCUMENTS. DO NOT REPRODUCE CONTRACT DOCUMENTS OR COPY STANDARD INFORMATION AS THE BASIS OF SHOP DRAWINGS. STANDARD INFORMATION PREPARED WITHOUT SPECIFIC REFERENCE TO THE PROJECT IS NOT CONSIDERED A SHOP DRAWING, AND IS NOT ACCEPTABLE. SHOP DRAWINGS INCLUDE FABRICATION AND INSTALLATION DRAWINGS, SETTING

DIAGRAMS, SCHEDULES, PATTERNS, TEMPLATES AND SIMILAR DRAWINGS. INCLUDE

IDENTIFICATION OF PRODUCTS AND MATERIALS BY SHEET AND DETAIL

- THE FOLLOWING INFORMATION.
- COMPLIANCE WITH SPECIFIED STANDARDS

ARCHITECT'S FINAL APPROVAL.

- NOTATION OF COORDINATION REQUIREMENTS NOTATION OF DIMENSIONS ESTABLISHED BY FIELD MEASUREMENT
- SHOP DRAWINGS SHOULD BE COMPLETED SHOWING ALL NECESSARY DETAILS AND SPECIAL CONDITIONS. MANUFACTURER'S STANDARD DETAIL CUTS CAN BE USED ONLY IF THEY FULLY DEMONSTRATE ACTUAL DESIGN OR PROJECT CONDITIONS, AS DETERMINED BY THE

ARCHITECT

- OTHERWISE, NEW, COMPREHENSIVELY-DRAFTED DETAILS MUST BE SUBMITTED. NONCOMPLIANCE OF THIS REQUIREMENT WILL BE CAUSE FOR REJECTION OF SHOP DRAWINGS WITHOUT REVIEW. DRAWING SUBMITTAL: SUBMIT FIVE COPIES OF EACH SHOP DRAWING. WITH THE
- EXCEPTION OF TEMPLATES, PATTERNS, OR SIMILAR FULL-SIZE DRAWINGS, ALL SHOP DRAWINGS SHALL BE SUBMITTED ON STANDARD SHEETS AT LEAST 8-1/2 BY 11 INCHES (ANSI A), BUT NO LARGER THAN 24 BY 36 INCHES (ARCH D). THE CONTRACTOR SHALL ONLY USE THE FINAL, APPROVED REPRODUCIBLES FOR CONSTRUCTION, COORDINATION, DISTRIBUTION TO SUBCONTRACTORS, OR ANY
- RECORD DOCUMENT REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRINTING ALL NECESSARY SUBMITTAL COPIES AFTER THE ARCHITECT'S APPROVAL, OR FOR INTERIM USE PRIOR TO THE
- THE GC SHALL NOT USE SHOP DRAWINGS WITHOUT AN APPROPRIATE FINAL SIGNED STAMP INDICATING THE ACTION TAKEN.
- THE GC SHALL REVIEW, APPROVE, AND STAMP ALL SUBMITTALS PRIOR TO TRANSMISSION TO THE ARCHITECT. EACH SUBMITTAL SHALL BEAR THE LEGIBLE ACTION STAMP OF THE CONTRACTOR. IF THE GC FINDS NUMEROUS ERRORS DURING HIS REVIEWS, THE GC SHALL HAVE THOSE ERRORS CORRECTED AND RE-SUBMITTED TO HIS OFFICE, PRIOR TO SUBMITTING TO THE ARCHITECT FOR AN INITIAL REVIEW.

SUBMITTALS: SECTION 01300 CONTINUED

1.4 ARCHITECT'S ACTION

- EITHER THE PROJECT ARCHITECT OR ENGINEER WILL REVIEW EACH SUBMITTAL, INDICATE AN ACTION TO BE TAKEN, AND RETURN PROMPTLY. ONE COPY SHALL BE RESERVED FOR THE OWNER, ONE COPY SHALL BE RESERVED FOR THE ARCHITECT, ONE COPY SHALL BE RESERVED FOR THE ENGINEER (IF APPLICABLE), AND THE REMAINING COPIES SHALL BE RETURNED TO THE
- COMPLIANCE WITH SPECIFIED CHARACTERISTICS IS THE GC'S RESPONSIBILITY.
- ACTION STAMP: THE ARCHITECT OR ENGINEER SHALL STAMP EACH SUBMITTAL WITH A UNIFORM, SELF-EXPLANATORY ACTION STAMP AND INDICATE THE ACTION TO BE TAKEN, AS FOLLOWS: FINAL UNRESTRICTED RELEASE: WHEN THE ARCHITECT MARKS A SUBMITTAL "REVIEWED" THE WORK COVERED BY THE SUBMITTAL MAY PROCEED PROVIDED COMPLIANCE WITH THE CONTRACT DOCUMENTS. FINAL PAYMENT SHALL DEPEND ON THIS COMPLIANCE.
 - FINAL-BUT-RESTRICTED RELEASE: WHEN THE ARCHITECT MARKS A SUBMITTAL "FURNISH AS CORRECTED," THE WORK COVERED BY THE SUBMITTAL MAY PROCEED PROVIDED IT COMPLIES WITH ALL SUBMITTAL NOTATIONS AND CORRECTIONS, AS WELL AS THE ON THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. FINAL PAYMENT SHALL DEPEND ON THIS COMPLIANCE.
- RETURNED FOR RESUBMITTAL : WHEN THE ARCHITECT MARKS A SUBMITTAL "REVISE AND RESUBMIT," DO NOT PROCEED WITH WORK COVERED BY THE SUBMITTAL, INCLUDING, BUT NOT LIMITED TO, PURCHASING, FABRICATION, OR DELIVERY. PREPARE A NEW SUBMITTAL
- THE GC SHALL NOT USE. NOR ALLOW OTHERS TO USE. SUBMITTALS MARKED "REVISE AND RESUBMIT", OR "REJECTED" AT ANY LOCATION WHERE WORK IS IN PROGRESS.
- WHERE A SUBMITTAL IS FOR INFORMATION OR RECORD PURPOSES OR SPECIAL PROCESSING, THE ARCHITECT SHALL RETURN THE SUBMITTAL MARKED "NO ACTION REOUIRED."
- UNSOLICITED SUBMITTALS: THE ARCHITECT SHALL RETURN, AT HIS DISCRETION, ALL UNSOLICITED SUBMITTALS TO THE SENDER WITHOUT ACTION.

ACCORDING TO THE NOTATIONS AND RESUBMIT WITHOUT DELAY.

1.6 SUBMITTALS: IN ADDITION TO PRODUCT DATA, THE GC SHALL SUBMIT SHOP DRAWINGS, INSTALLATION INSTRUCTIONS, COLOR SAMPLES, AND GENERAL RECOMMENDATIONS, AS APPLICABLE, TO MATERIALS AND FINISHES FOR EACH COMPONENT AND FOR TOTAL ASSEMBLIES. THE LIST INCLUDES BUT NOT LIMITED TO THE FOLLOWING:

- 01. DOOR AND HARDWARE SCHEDULE + COMPONENTS. 02. STEEL SHOP DRAWINGS.
- 03. ALUMINUM STOREFRONT SYSTEM SHOP DRAWINGS WITH SAMPLE COLOR 04. GLASS PRODUCT CERTIFICATES AND SAMPLE. 05. PAINT COLORS, EXTERIOR MATERIALS, + JOINT SEALERS.
- STRUCTURAL, PLUMBING, MECHANICAL + ELECTRICAL SUBMITTALS SHALL BE REFERENCED

SUBSTITUTIONS: SECTION 01631

ON THE ENGINEERING DRAWINGS

NOTE: ARCHITECT NOR ENGINEERS ARE UNDER CONTRACT TO PROVIDE FULL CONSTRUCTION ADMINSTRATION SERVICES. GC TO COORDINATE SUBSTITUTION REQUIREMENTS DIRECTLY WITH THE OWNER, BASED UPON GENERAL PRACTICES INDICATED BELOW.

PART ONE : GENERAL

1.1 SUBMITTALS - SEE SECTION 01300 FOR SUBMITTAL INFORMATION

- SUBSTITUTION REQUEST SUBMITTAL: THE OWNER'S ARCHITECT WILL CONSIDER REQUESTS FOR SUBSTITUTION IF RECEIVED WITHIN 10 DAYS AFTER COMMENCEMENT OF THE WORK. REQUESTS RECEIVED MORE THAN 10 DAYS AFTER COMMENCEMENT OF THE WORK MAY BE CONSIDERED ORREJECTED AT THE DISCRETION OF THE
 - 1. SUBMIT REQUESTS IN THE FORM, AND ACCORDING TO PROCEDURES REQUIRED
 - IDENTIFY THE PRODUCT OR THE FABRICATION OR INSTALLATION METHOD TO BE REPLACED IN EACH REQUEST. INCLUDE RELATED SPECIFICATION SECTION
 - PROVIDE COMPLETE DOCUMENTATION THAT SHOWS COMPLIANCE WITH THE REQUIREMENTS FOR SUBSTITUTIONS, AND THE FOLLOWING INFORMATION, AS | COORDINATION INFORMATION, INCLUDING A LIST OF CHANGES OR
 - MODIFICATIONS TO OTHER PARTS OF THE WORK AND TO CONSTRUCTION PERFORMED BY THE OWNER AND SEPARATE CONTRACTORS, THAT WILL BE NECESSARY TO ACCOMMODATE THE PROPOSED SUBSTITUTION. A DETAILED COMPARISON OF SIGNIFICANT QUALITIES OF THE
 - PROPOSED SUBSTITUTION WITH THOSE OF THE WORK SPECIFIED. SIGNIFICANT QUALITIES SHOULD ADDRESS PERFORMANCE, WEIGHT, SIZE, DURABILITY, AND VISUAL EFFECT. PRODUCT DATA, INCLUDING DRAWINGS AND DESCRIPTIONS OF
 - PRODUCTS AND FABRICATION AND INSTALLATION PROCEDURES SAMPLES, WHERE APPLICABLE OR REQUESTED. A STATEMENT INDICATING THE EFFECT ON THE CONTRACTOR'S CONSTRUCTION SCHEDULE COMPARED TO THE SCHEDULE WITHOUT
 - APPROVAL OF THE SUBSTITUTION. INDICATE THE EFFECT OF THE PROPOSED SUBSTITUTION ON OVERALL CONTRACT TIME. COST INFORMATION, INCLUDING A PROPOSAL OF THE NET CHANGE, IF
 - ANY, TO THE CONTRACT SUM. THE CONTRACTOR'S CERTIFICATION THAT THE PROPOSED SUBSTITUTION, CONFORMS TO REQUIREMENTS IN THE CONTRACT DOCUMENTS IN EVERY RESPECT AND IS APPROPRIATE FOR THE APPLICATIONS
 - THE CONTRACTOR'S WAIVER OF RIGHTS TO ADDITIONAL PAYMENT OR TIME THAT MAY SUBSEQUENTLY BECOME NECESSARY BECAUSE OF THE FAILURE OF THE SUBSTITUTION TO PERFORM ADEQUATELY.
 - 4. ARCHITECT'S ACTION: THE ARCHITECT WILL REQUEST ADDITIONAL INFORMATION OR DOCUMENTATION WITHIN ONE WEEK OF RECEIPT FOR REVIEW OF A REQUEST FOR SUBSTITUTION. THE ARCHITECT WILL NOTIFY THE CONTRACTOR OF ACCEPTANCE OR REJECTION OF THE SUBSTITUTION WITHIN EITHER ONE WEEK OF RECEIPT OF THE REQUEST OR ONE WEEK OF RECEIPT OF
 - ADDITIONAL INFORMATION OR DOCUMENTATION. ACCEPTANCE WILL BE IN THE FORM OF A CHANGE ORDER. THE CONTRACTOR SHALL USE THE SPECIFIED PRODUCT IF THE ARCHITECT IS UNABLE TO MAKE A DECISION REGARDING A PROPOSED

PART TWO: PRODUCTS | 2.1 SUBSTITUTIONS - SEE SECTION 01300 FOR SUBMITTAL INFORMATION

CONDITIONS: THE OWNER WILL RECEIVE AND CONSIDER THE CONTRACTOR'S REQUEST FOR SUBSTITUTION WHEN ONE OR MORE OF THE FOLLOWING CONDITIONS ARE COMPLETED TO THE SATISFACTION OF THE OWNER. IF THE FOLLOWING CONDITIONS ARE NOT SATISFIED, THE OWNER WILL RETURN THE REQUEST WITHOUT ACTION, EXCEPT TO RECORD NONCOMPLIANCE WITH THE REQUIREMENTS.

SUBSTITUTE WITHIN THE TIME ALLOCATED.

- EXTENSIVE REVISIONS TO THE CONTRACT DOCUMENTS ARE NOT REQUIRED. PROPOSED CHANGES ARE IN KEEPING WITH THE INTENT OF THE CONTRACT DOCUMENTS.
- THE REQUEST IS TIMELY, FULLY DOCUMENTED, AND PROPERLY SUBMITTED.
- 4. THE SPECIFIED PRODUCT OR METHOD OF CONSTRUCTION CANNOT BE PROVIDED WITHIN THE CONTRACT TIME. THE ARCHITECT WILL NOT CONSIDER THE REQUEST IF THE PRODUCT OR METHOD CANNOT BE PROVIDED AS A RESULT OF FAILURE TO PURSUE THE WORK PROMPTLY OR COORDINATE **ACTIVITIES PROPERLY.**
- THE REQUESTED SUBSTITUTION OFFERS THE OWNER A SUBSTANTIAL ADVANTAGE, IN COST, TIME, ENERGY CONSERVATION, OR OTHER CONSIDERATIONS, AFTER DEDUCTING ADDITIONAL RESPONSIBILITIES THE OWNER MUST ASSUME. THE OWNER'S ADDITIONAL RESPONSIBILITIES MAY INCLUDE COMPENSATION TO THE ARCHITECT FOR REDESIGN AND EVALUATION SERVICES, INCREASED COST OF OTHER CONSTRUCTION BY THE OWNER, AND SIMILARCONSIDERATIONS.
- THE SPECIFIED PRODUCT OR METHOD OF CONSTRUCTION CANNOT RECEIVE NECESSARY APPROVAL BY A GOVERNING AUTHORITY, AND THE REQUESTED SUBSTITUTION CAN BE APPROVED.
- THE SPECIFIED PRODUCT OR METHOD OF CONSTRUCTION CANNOT BE P ROVIDED IN A MANNER THAT IS COMPATIBLE WITH OTHER MATERIALS AND WHERE THE CONTRACTOR CERTIFIES THAT THE SUBSTITUTION WILL OVERCOME THE INCOMPATIBILITY.

- 8. THE SPECIFIED PRODUCT OR METHOD OF CONSTRUCTION CANNOT BE COORDINATED WITH OTHER MATERIALS AND WHERE THE CONTRACTOR CERTIFIES THAT THE PROPOSED SUBSTITUTION CAN BE COORDINATED.
- THE SPECIFIED PRODUCT OR METHOD OF CONSTRUCTION CANNOT PROVIDE A WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS AND WHERE THE CONTRACTOR CERTIFIES
- THAT THE PROPOSED SUBSTITUTION PROVIDES THE REQUIRED WARRANTY. THE CONTRACTOR'S SUBMITTAL AND THE ARCHITECT'S ACCEPTANCE OF SHOP DRAWINGS

PRODUCT, DATA, OR SAMPLES FOR CONSTRUCTION ACTIVITIES NOT COMPLYING WITH THE CONTRACT DOCUMENTS DO NOT CONSTITUTE AN ACCEPTABLE OR VALID REQUEST FOR SUBSTITUTION, NOR DO THEY CONSTITUTE APPROVAL.

CONTRACT CLOSE OUT : SECTION 01700 NOTE: ARCHITECT NOR ENGINEERS ARE UNDER CONTRACT TO PROVIDE FULL CONSTRUCTION

ADMINSTRATION SERVICES. GC TO COORDINATE CLOSE OUT REQUIREMENTS DIRECTLY WITH THE | PART THREE: EXECUTION OWNER, BASED UPON GENERAL PRACTICES INDICATED BELOW.

| PART ONE : GENERAL

1.1 SUBSTANTIAL COMPLETION

- PRELIMINARY PROCEDURES: BEFORE REQUESTING AN INSPECTION FOR CERTIFICATION OF SUBSTANTIAL COMPLETION, THE GC SHALL COMPLETE THE FOLLOWING. ALL EXCEPTIONS MUST BE LISTED IN THE REQUEST.
 - 1. IN THE APPLICATION FOR PAYMENT THAT COINCIDES WITH, OR IMMEDIATELY FOLLOWS, THE DATE OF SUBSTANTIAL COMPLETION, THE GC SHALL DEMONSTRATE 100 PERCENT COMPLETION FOR THE PORTION OF WORK CLAIMED AS SUBSTANTIALLY COMPLETE.
 - INCLUDE SUPPORTING DOCUMENTATION FOR COMPLETION AS NDICATED IN THE CONTRACT DOCUMENTS AND A STATEMENT SHOWING AN ACCOUNTING OF CHANGES TO THE CONTRACT SUM
 - IF 100 PERCENT COMPLETION CANNOT BE SHOWN, THE GC SHALL GENERATE A LIST OF INCOMPLETE ITEMS, THE VALUE OF INCOMPLETE CONSTRUCTION, AND EXPLAIN WHY THE WORK IS INCOMPLETE.
 - 2. ADVISE THE TENANT OF PENDING INSURANCE CHANGEOVER REQUIREMENTS.
 - AGREEMENTS, FINAL CERTIFICATIONS, AND SIMILAR DOCUMENTS. OBTAIN AND SUBMIT RELEASES ENABLING THE OWNER UNRESTRICTED USE OF THE WORK AND ACCESS TO SERVICES AND UTILITIES. THE GC SHALL INCLUDE

SUBMIT SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE

SUBMIT RECORD DRAWINGS, MAINTENANCE MANUALS, FINAL PHOTO DOCUMENTATION, DAMAGE OR SETTLEMENT SURVEYS AND SIMILAR FINAL

OCCUPANCY PERMITS, OPERATING CERTIFICATES, AND SIMILAR RELEASES.

6. DELIVER TOOLS, SPARE PARTS, EXTRA STOCK, AND SIMILAR ITEMS

RECORD INFORMATION.

- MAKE FINAL CHANGEOVER OF PERMANENT LOCKS AND TRANSMIT KEYS TO THE OWNER; ADVISE THE OWNER'S PERSONNEL OF CHANGEOVER IN SECURITY
- COMPLETE STARTUP TESTING OF SYSTEMS AND INSTRUCTION OF THE TENANT'S OPERATION AND MAINTENANCE PERSONNEL. REMOVE TEMPORARY FACILITIES FROM THE SITE, ALONG WITH MOCKUPS, CONSTRUCTION TOOLS, AND SIMILAR I
- COMPLETE FINAL CLEANUP REQUIREMENTS, INCLUDING TOUCHUP PAINTING.
- 10. TOUCH UP AND OTHERWISE REPAIR AND RESTORE MARRED OR EXPOSED
- B. INSPECTION PROCEDURES: ON RECEIPT OF THE CONTRACTOR'S WRITTEN REQUEST FOR INSPECTION, THE OWNER WILL EITHER PROCEED WITH INSPECTION OR REQUEST ADDITIONAL INFORMATION. THE INSPECTION SHALL BE CONDUCTED WITH THE GENERAL CONTRACTOR, OWNER AND ARCHITECT PRESENT. ADDITIONAL SUBCONTRACTORS MAY BE REQUIRED TO BE PRESENT AT THE REQUEST OF THE OWNER. THE GC WILL BE RESPONSIBLE FOR THE PREPARATION OF THE PUNCH LIST, WHICH SHALL BE ATTACHED TO THE CERTIFICATE OF SUBSTANTIAL COMPLETION. THE OWNER OR HIS ARCHITECT WILL PREPARE THE CERTIFICATE OF SUBSTANTIAL COMPLETION FOLLOWING INSPECTION. THE RESULTS OF THE COMPLETED INSPECTION

WILL FORM THE BASIS OF REQUIREMENTS FOR FINAL ACCEPTANCE. 1.2 RECORD DOCUMENT SUBMITTALS

- RECORD DRAWINGS: THE GC SHALL MAINTAIN A CLEAN, UNDAMAGED SET OF CONTRACT DRAWINGS AND SHOP DRAWINGS. MARK THE SET TO SHOW IF AND WHERE THE ACTUAL INSTALLATION VARIES SUBSTANTIALLY FROM THE WORK AS ORIGINALLY SHOWN. MARK WHICH DRAWING IS MOST CAPABLE OF SHOWING CONDITIONS FULLY AND ACCURATELY. WHERE SHOP DRAWINGS ARE USED, CROSS-REFERENCE THE CORRESPONDING LOCATION ON THE CONTRACT DRAWINGS. GIVE PARTICULAR ATTENTION TO CONCEALED ELEMENTS THAT WOULD BE DIFFICULT TO
 - MEASURE AND RECORD AT A LATER DATE. 1. MARK RECORD SETS WITH RED ERASABLE PENCIL. USE OTHER COLORS TO
 - DISTINGUISH BETWEEN VARIATIONS IN SEPARATE CATEGORIES OF THE WORK. 2. MARK NEW INFORMATION THAT IS IMPORTANT TO THE OWNER BUT WAS NOT
 - SHOWN ON CONTRACT DRAWINGS OR SHOP DRAWINGS.

MARK RELATED CHANGE-ORDER NUMBERS WHERE APPLICABLE.

- ORGANIZE RECORD DRAWING SHEETS INTO A MANAGEABLE SET. BIND WITH DURABLE-PAPER COVER SHEETS; PRINT SUITABLE TITLES, DATES, AND OTHER IDENTIFICATION ON THE COVER OF EACH SET.
- B. O + M MANUALS : ORGANIZE OPERATION AND MAINTENANCE DATA INTO SUITABLE SETS OF A MANAGEABLE SIZE. BIND PROPERLY INDEXED DATA IN INDIVIDUAL HEAVY-DUTY 2-INCH, 3-RING VINYL-COVERED BINDERS. MARK APPROPRIATE IDENTIFICATION ON FRONT AND SPINE OF EACH BINDER. THE GC SHALL SUBMIT A PRELIMINARY COPY TO THE OWNER FOR HIS REVIEW AND AGREEMENT OF DATA THEREIN PRIOR TO FINAL

COMPOSITION OF MANUAL. THE GC SHALL INCLUDE THE FOLLOWING TYPES OF

LIST OF ALL SUBCONTRACTOR, THEIR TRADE OR WORK PERFORMED,

- EMERGENCY INSTRUCTIONS SPARE PARTS LIST COPY OF ALL WARRANTIES TURN-AROUND CYCLES SHOP DRAWINGS + PRODUCT DATA 6. FIXTURE LAMPING SCHEDULE WIRING DIAGRAMS 8. INSPECTION PROCEDURES
- AND CURRENT ADDRESS + PHONE NUMBER. C. THE GC SHALL HOLD ALL DATA AND MAKE ONE, FINAL SUBMITTAL TO THE ARCHITECT.

PART TWO: PRODUCTS

INFORMATION:

PART THREE : EXECUTION

3.1 CLOSEOUT PROCEDURES

NOT APPLICABLE

LUBRICANTS

- A. O + M INSTRUCTION: THE GC SHALL ARRANGE FOR THE INSTALLER OF EACH PIECE OF EQUIPMENT THAT REQUIRES REGULAR MAINTENANCE TO MEET WITH THE OWNER'S PERSONNEL, AND PROVIDE INSTRUCTION IN PROPER OPERATION AND MAINTENANCE. IF INSTALLERS ARE NOT EXPERIENCED IN THE O + M PROCEDURES. THE GC SHALL ARRANGE FOR A MANUFACTURER'S REPRESENTATIVE TO PROVIDE INSTRUCTION IN PROPER OPERATION THE ORIENTATION SHOULD INCLUDE A DETAILED REVIEW OF THE
 - FOLLOWING ITEMS: MAINTENANCE MANUALS RECORD DOCUMENTS SPARE PARTS + MATERIALS TOOLS
 - **IDENTIFICATION SYSTEMS** CONTROL SEQUENCES HAZARDS CLEANING 11. WARRANTIES + BONDS 12. MAINTENANCE AGREEMENTS

6. FUELS

ADJUSTMENTS

FOLLOWING PROCEDURES: STARTUP SHUTDOWN **EMERGENCY OPERATIONS** NOISE AND VIBRATION ADJUSTMENTS | ECONOMY AND EFFICIENCY SAFETY PROCEDURES

EFFECTIVE ENERGY UTILIZATION.

B. AS PART OF INSTRUCTION FOR OPERATING EQUIPMENT, DEMONSTRATE THE

FINAL CLEANING: SECTION 01710

1.1 ENVIRONMENTAL REQUIREMENTS: CONDUCT CLEANING AND WASTE-DISPOSAL OPERATIONS IN COMPLIANCE WITH LOCAL LAWS AND ORDINANCES. COMPLY FULLY WITH FEDERAL AND LOCAL ENVIRONMENTAL AND

| PART TWO : PRODUCTS

ANTI-POLLUTION REGULATIONS.

2.1 CLEANING AGENTS: USE CLEANING MATERIALS AND AGENTS RECOMMENDED BY THE MANUFACTURER OR FABRICATOR OF THE SURFACE TO BE CLEANED. THE GC SHALL NOT USE CLEANING AGENTS THAT ARE POTENTIALLY HAZARDOUS TO EITHER HEALTH OR PROPERTY, OR THAT MIGHT DAMAGE FINISHED SURFACES.

2.1 COMPLETE THE FOLLOWING CLEANING OPERATIONS BEFORE REQUESTING INSPECTION FOR FINAL COMPLETION | FOR THE ENTIRE PROJECT: CLEAN THE PROJECT SITE OF RUBBISH, WASTE MATERIAL, LITTER, AND FOREIGN SUBSTANCES IN ALL

AREAS DISTURBED BY CONSTRUCTION ACTIVITIES.

- SWEEP ALL PAVED AREAS BROOM CLEAN; POWER WASH ALL DIRT OR OTHER DEBRIS WHICH CAN BE TRACKED INTO THE BUILDING. RAKE GROUNDS TO A SMOOTH, EVEN-TEXTURED SURFACE IN ALL AREAS THAT ARE NEITHER PLANTED NOR PAVED.
- REMOVE PETROCHEMICAL SPILLS, STAINS, AND OTHER FOREIGN DEPOSITS, INCLUDING EXCESS CONCRETE AND MORTAR DUMPINGS.
- DAMP CLEAN AND DRY EXPOSED EXTERIOR AND INTERIOR HARD-SURFACED FINISHES TO A DIRT-FREE CONDITION, FREE OF STAINS, FILMS, AND SIMILAR FOREIGN SUBSTANCES. AVOID DISTURBING NATURAL WEATHERING OF EXTERIOR SURFACES. RESTORE REFLECTIVE SURFACES TO THEIR ORIGINAL
- REMOVE DEBRIS AND SURFACE FROM LIMITED ACCESS SPACES, INCLUDING, BUT NO LIMITED TO,
- ROOFS, PLENUMS, SHAFTS, TRENCHES, EQUIPMENT VAULTS, MANHOLES, AND ATTICS.

DRIPS, STAINS AND OTHER FOREIGN SUBSTANCES FROM CONCRETE SURFACE.

- VACUUM CARPET AND SIMILAR SOFT SURFACES, REMOVING DEBRIS AND EXCESS NAP. SHAMPOO AS NEEDED TO REMOVE STAINS PER MANUFACTURER'S SPECIFIC RECOMMENDATIONS.
- CLEAN TRANSPARENT MATERIALS, INCLUDING MIRRORS AND GLASS IN ALL DOORS AND WINDOWS. REMOVE GLAZING COMPOUNDS AND OTHER SUBSTANCES THAT ARE NOTICEABLY OBSCURE THE MATERIAL. REPLACE CHIPPED OR BROKEN GLASS AND OTHER DAMAGED TRANSPARENT MATERIALS.
- POLISH MIRRORS AND GLASS.
- REMOVE ALL NON-PERMANENT LABELS. TOUCH UP AND OTHERWISE REPAIR AND RESTORE MARRED, EXPOSED FINISHES AND SURFACES. REPLACE FINISHES AND SURFACES THAT CANNOT BE SATISFACTORILY REPAIRED OR RESTORED OR
- 1. DO NOT PAINT OVER "UL" AND SIMILAR LABELS, INCLUDING MECHANICAL AND ELECTRICAL

WIPE SURFACES OF MECHANICAL AND ELECTRICAL EQUIPMENT. REMOVE EXCESS LUBRICATION, PAINT

REPLACE DISPOSABLE AIR FILTERS; CLEAN PERMANENT AIR FILTERS. CLEAN EXPOSED SURFACES OF

PEST CONTROL: ENGAGE AN EXPERIENCED LICENSED EXTERMINATOR TO MAKE A FINAL INSPECTION

CONSTRUCTION TO PROTECT PREVIOUSLY COMPLETED INSTALLATIONS DURING THE REMAINDER OF

CLEAN AND SANITIZE PLUMBING FIXTURES TO A CONDITION FREE FROM STAINS, INCLUDING STAINS RESULTING FROM WATER EXPOSURE.

THAT ALREADY SHOW EVIDENCE OF REPAIR OR RESTORATION.

AND MORTAR DROPPINGS, AND OTHER FOREIGN SUBSTANCES.

- DIFFUSERS, REGISTERS, AND GRILLS. CLEAN DUCTS, BLOWERS, AND COILS IF UNITS WERE OPERATED WITHOUT FILTERS DURING
- CLEAN LIGHT FIXTURES, LAMPS, AND REFLECTORS TO FUNCTION WITH FULL EFFICIENCY. REPLACE ALL BURNED-OUT OR INCANDESCENT BULBS IN FIXTURES WITH STANDARD COMPACT FLUORESCENT
- LEAVE THE PROJECT CLEAN AND READY FOR OCCUPANCY.
- AND RID THE PROJECT OF RODENTS, INSECTS, BIRDS, AND OTHER PESTS. REMOVAL OF PROTECTION: REMOVE TEMPORARY PROTECTION AND FACILITIES INSTALLED DURING
- THE CONSTRUCTION PERIOD. COMPLIANCE: COMPLY WITH GOVERNING REGULATIONS AND SAFETY STANDARDS FOR CLEANING

OPERATIONS. REMOVE WASTE MATERIALS FROM THE SITE AND DISPOSE OF LAWFULLY.

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REMOVE TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, AND SURPLUS MATERIAL FROM THE SITE.

BROOM CLEAN AND WET-MOP CONCRETE FLOORS IN UNOCCUPIED SPACES AFTER REMOVING PAINT

C-19-066-1

SPECIFICATIONS

GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND BRACING ALL WORK DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL OSHA REGULATIONS ON THE PROJECT SITE. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS SHOWN AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO FABRICATION AND CONSTRUCTION.

2. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR OR THE SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL TO THE WORK OF THE CONTRACTOR. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR TO PERFORM THE CONSTRUCTION WORK IN ACCORDANCE WITH DRAWINGS. THE COST OF ANY TESTS OR WORK REQUIRED BECAUSE OF CONTRACTOR'S FAILURE TO PERFORM IN ACCORDANCE WITH THE DRAWINGS SHALL BE BORNE BY THE CONTRACTOR.

3. CONTRACTOR SHALL REFER TO OTHER DISCIPLINE'S DRAWINGS AND VISIT SITE TO OBSERVE (E) CONSTRUCTION AND AS-BUILT CONDITIONS. SURVEY PROJECT SITE TO LOCATE UNDERGROUND ITEMS & UTILITIES. REMOVE / RELOCATE EXISTING ITEMS IF REQUIRED FOR NEW CONSTRUCTION. COORDINATE ANY DISRUPTION OF SERVICES WITH OWNER.

4. CONTRACTOR SHALL REFER TO ARCHITECTURAL TO COORDINATE ALL DIMENSIONS AND ELEVATIONS RELATED TO WORK SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DIMENSIONS WITH THE FABRICATOR. NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL COORDINATE ALL ROOF, FLOOR, AND WALL OPENINGS WITH STRUCTURAL, ARCHITECTURAL, AND MECHANICAL DRAWINGS.

6. ALL MATERIAL, WORKMANSHIP, AND DESIGN SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, CURRENT

7. REFERENCE TO STANDARD SPECIFICATIONS OF ANY TECHNICAL SOCIETY, ORGANIZATION, OR ASSOCIATION, OR TO CODES OF LOCAL OR STATE AUTHORITIES, SHALL MEAN THE LATEST STANDARD, CODE, SPECIFICATION, UNLESS SPECIFICALLY STATED OTHERWISE.

8. BOTH BAILEY AND SON ENGINEERING, INC. AND THE ENGINEER WHOSE PROFESSIONAL SEAL IS AFFIXED TO THESE CONTRACT DRAWINGS DISCLAIM ANY IMPLIED WARRANTIES OF ANY KIND WHATSOEVER INCLUDING THE IMPLIED WARRANTY OF MERCHANTABILITY, THE IMPLIED WARRANTY OF FITNESS FOR A PARTICULAR PURPOSE AND ANY IMPLIED WARRANTY OF FITNESS OF THESE DRAWINGS AND/OR SPECIFICATIONS.

11. THE REHABILITATION OF AN EXISTING STRUCTURE REQUIRES ASSUMPTIONS TO BE MADE REGARDING EXISTING CONDITIONS. THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT ADDITIONAL COST OR WITHOUT DESTROYING OTHERWISE SERVICEABLE PORTIONS OF THE STRUCTURE. THE ENGINEER SHALL NOT BE LIABLE FOR ANY COST ARISING FROM THE DISCOVERY OF UNKNOWN CONDITIONS IN THE EXISTING STRUCTURE.

DESIGN LOADS AND CRITERIA:

INTERNATIONAL BUILDING CODE, 2018 EDITION

SLAB DEAD LOAD = 45 PSF @ 2 1/2" SLAB; 60 PSF @ 5" LIGHT-WT SLAB SLAB LIVE LOAD = 100 PSF

SNOW LOADS: NOT APPLICABLE

WIND LOAD:

NOT APPLICABLE

SEISMIC DESIGN DATA:

NOT APPLICABLE

REFERENCED EXISTING BUILDING DRAWINGS:

"CENTRAL OFFICE BLDG. – COLUMBIA HOUSING AUTHORITY, COLUMBIA, SOUTH CAROLINA" BY: LAFAYE ASSOCIATES, INC.

(ARCHITECT) AND JOHNSON & KING (STRUCTURAL); DATED: JULY 31, 1980; COMMISSION: A-1381.

FOUNDATION NOTE

1. EXISTING FOUNDATIONS WHERE ANALYZED BASED ON AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF AND A SOIL SUBGRADE MODULUS (K) OF 100 PCI.

CONCRETE AND REINFORCING NOTES:

1. ALL CONCRETE WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH ACI 318, INCLUDING HOT WEATHER CONCRETING PROCEDURES IN ACI 305 AND COLD WEATHER CONCRETING PROCEDURES IN ACI 306.

2. MATERIALS SHALL MEET THE FOLLOWING REQUIREMENTS, UNLESS NOTED OTHERWISE:

PROVIDE 6% AIR ENTRAINING IN CONCRETE EXPOSED TO WEATHER.
* MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.

3. CONCRETE FINISHES DETERMINED BY ARCHITECT. CURING COMPOUND SHALL MEET ASTM C1315 WITH A MIN. OF 25% SOLIDS CONTENT BY VOLUME.

4. MINIMUM CONCRETE COVER OVER REINFORCING SHALL BE AS SCHEDULED BELOW (UNLESS NOTED OTHERWISE):

- UNFORMED SURFACES IN CONTACT WITH GROUND = 3 INCHES
- FORMED SURFACES EXPOSED TO EARTH OR WEATHER = 2 INCHES

FORMED SURFACES <u>NOT</u> EXPOSED TO EARTH OR WEATHER = 1 INCH
 REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS OF SLAB SLOPES, DEPRESSIONS, ETC.

6. CONCRETE TEST CYLINDERS AND SLUMP TESTS ARE TO BE MADE FOR EACH 50 CUBIC YARDS OR FRACTION THEREOF, OR FOR EACH 5,000 SQUARE FOOT OF SURFACE AREA PLACED. TEST RESULTS SHALL BE REPORTED IN WRITING TO THE ENGINEER WITHIN 48 HOURS AFTER TESTS ARE MADE.

7. ELEVATED FLOOR SLABS SHALL MEET A SPECIFIED OVERALL FLOOR FLATNESS VALUE OF 25 AND A MINIMUM LOCAL FLOOR FLATNESS VALUE OF 17 FOR UNSHORED CONSTRUCTION. FLOOR LEVELNESS CRITERIA FROM ACI 302 IS NOT APPLICABLE FOR ELEVATED FLOOR SLABS UNLESS NOTED OTHERWISE.

8. LIMIT USE OF FLY ASH TO NOT EXCEED 20% OF CEMENTITIOUS MATERIAL BY WEIGHT (CEMENT + FLY ASH).

9. JOINT SEALANT SHALL BE SELF-LEVELING, POLYURETHANE JOINT SEALANT SUCH AS MASTERSEAL SL 1 AS MANUFACTURED BY BASF, OR EQUIVALENT. UTILIZE A CLOSED CELL BACKER ROD WHERE REQUIRED. INSTALL IN STRICT CONFORMANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.

STRUCTURAL STEEL NOTES:

EXISTING STEEL.....

1. DESIGN, FABRICATION, AND ERECTION OF ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE AISC MANUAL OF STEEL CONSTRUCTION, FIFTEENTH EDITION, UNLESS NOTED OTHERWISE.

2. MATERIALS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING SPECIFICATIONS:

WIDE FLANGE STRUCTURAL STEEL.....ASTM A992, GRADE 50 CHANNELS.....ASTM A36

STRUCTURAL TUBING.......ASTM A500, GRADE C, FY (MIN) = 50 KSI ANGLES AND PLATES......ASTM A36
HIGH-STRENGTH BOLTS.....ASTM A325-N

3. ALL STRUCTURAL WELDING SHALL BE MADE BY A CERTIFIED WELDER IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS SPECIFICATIONS D1.1. MINIMUM SIZE OF FILLET WELD SHALL BE 1/16" SMALLER THAN MATERIAL THICKNESS OF THICKER PART JOINED, UNLESS NOTED OTHERWISE.

.. ASTM A36 (ASSUMED)

ELECTRODE STORAGE FOR LOW-HYDROGEN ELECTRODES SHALL BE STORED @ 250° WHEN EXPOSURE EXCEEDS REQUIREMENTS OF COLUMN A, TABLE 51 OF AWS. WELD CLEANING AND PAINTING OF COMPLETED WELDS SHALL BE IN ACCORDANCE WITH AWS.

4. ALL BOLTED CONNECTIONS SHALL BE BEARING—TYPE USING 3/4" DIAMETER AND BROUGHT TO A SNUG TIGHT CONDITION. A325—N BOLTS WITH THREADS INCLUDED IN SHEAR PLANE, UNLESS NOTED OTHERWISE.

5. SHOP CONNECTIONS MAY BE BOLTED OR WELDED.

6. FIELD CONNECTIONS SHALL BE BOLTED UNLESS NOTED OTHERWISE ON DRAWINGS.

7. SURFACE PREPARATIONS FOR STRUCTURAL STEEL NOT SUBJECT TO EXTERIOR ENVIRONMENTAL CONDITIONS SHALL BE CLEANED IN ACCORDANCE WITH SSPC—SP6 (COMMERCIAL BLAST CLEANING). PRIME STEEL WITH STANDARD SHOP PRIMER AT 2.0 MILS DFT. SHOP PRIMER SHALL BE COMPATIBLE WITH OVERCOAT AS REQUIRED.

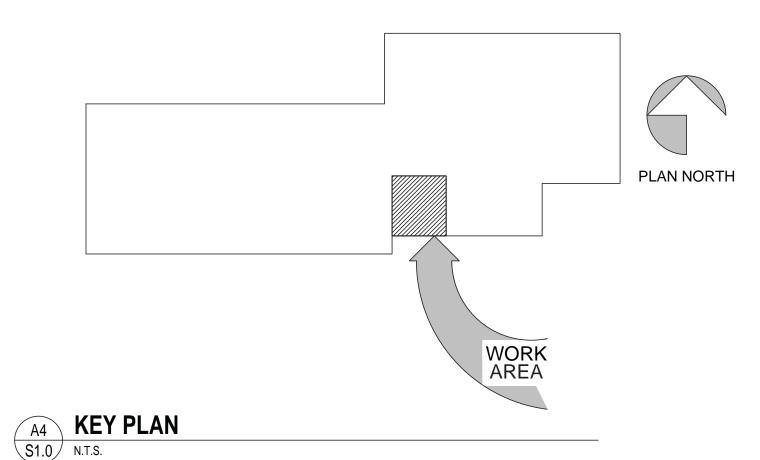
8. PROVIDE MISCELLANEOUS STEEL & SUPPORT ANGLES AROUND FLOOR PENETRATIONS AND OPENINGS REQUIRED TO SUPPORT ENDS AND EDGES OF STEEL DECK.

STRUCTURAL DRAWING INDEX

DWG. NO. DRAWING TITLE

S0.1 PROJECT NOTES & KEY PLAN

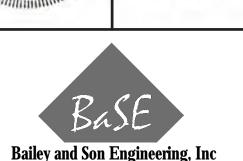
S1.0 BALCONY PLANS, SECTIONS, AND DETAILS





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RELEASED FOR PLAN REVIEW AND PRICING 12/17/2020

CHA HARDEN BLDG REMODEL

| 0 | RELEASED FOR PLAN REVIEW/PRICING | 12 / 17 / 20 | CC |
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COLUMBIA HOUSING AUTHORITY

> 1917 HARDEN STREET Columbia, SC 29204

PROJECT NOTES & KEY PLAN

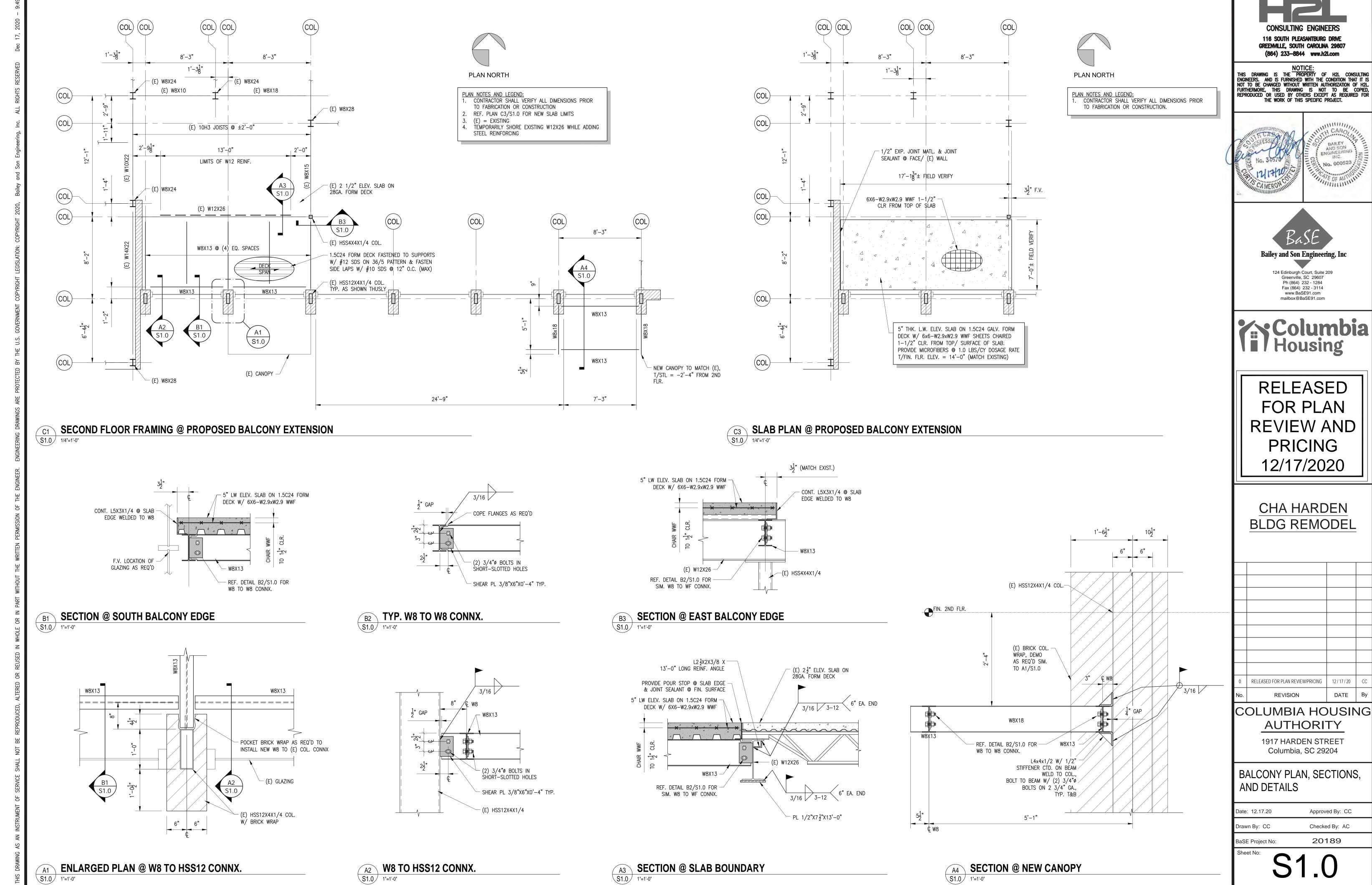
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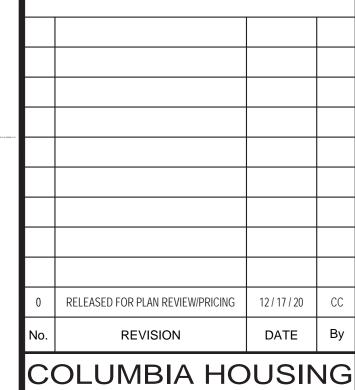
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HEATING VENTILATION AND AIR CONDITIONING SPECIFICATIONS

- 1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL MECHANICAL CODE, 2009 INTERNATIONAL ENERGY
- CONSERVATION CODE, 2018 EDITIONS OF THE INTERNATIONAL BUILDING AND FIRE CODES, AND APPLICABLE LOCAL ORDINANCES. 2. THESE COMMON PROVISIONS APPLY TO ALL MECHANICAL WORK COVERED IN THIS CONTRACT, INCLUDING HVAC AND RELATED PIPING A. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, MACHINERY, SUPERVISION, MANAGEMENT, AND ALL OTHER ITEMS NECESSARY FOR
- THE COMPLETE MECHANICAL SYSTEM. THE ENTIRE MECHANICAL SYSTEMS SHALL BE INSTALLED, STARTED, TESTED, ADJUSTED AND TURNED OVER TO THE OWNER IN PROPER OPERATING CONDITION. B. ALL LABOR, EQUIPMENT, MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE NATIONAL AND LOCAL CODES.
- C. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. WHERE THIS MAY CONFLICT WITH CODE REQUIREMENTS THE CODES SHALL HAVE PRECEDENCE.
- D. THE CONTRACTOR AND/OR THE APPROPRIATE SUBCONTRACTOR SHALL CONCURRENTLY HOLD ALL REQUIRED LICENSES TO PERFORM THE WORK SHOWN AND SPECIFIED ON THESE DRAWINGS. CONTRACTOR SHALL FURNISH AND PAY FOR ALL PERMITS, FEES AND TAXES ASSOCIATED WITH HIS WORK.
- E. THE CONTRACTOR SHALL BE BOUND BY THE WARRANTY AS DESCRIBED UNDER THE GENERAL CONDITIONS OR BY THE DESCRIPTION THAT FOLLOWS, WHICHEVER IS MORE STRINGENT. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL DOCUMENTATION WITH REGARD TO MANUFACTURER'S WARRANTIES ON ALL EQUIPMENT INSTALLED BY THE CONTRACTOR. THE CONTRACTOR SHALL GUARANTEE THAT ALL WORK SHALL BE FREE FROM DEFECTS DUE TO FAULTY MATERIALS AND/OR WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION AND SHALL REMEDY SUCH DEFECTS AND PAY FOR ANY DAMAGE RESULTING AT NO COST TO THE OWNER PROVIDED THAT DEFECTS ARE NOT DUE TO ABUSE BY THE OWNER, ACTS OF GOD, OR CIVIL UNREST.
- F. UNDER NO CIRCUMSTANCES IS THE CONTRACTOR TO INSTALL ANY MATERIAL OR EQUIPMENT, FOREIGN OR DOMESTIC, WITH
- 3. DIMENSIONS: DRAWINGS SHOULD BE INTERPRETED AS GENERAL LAYOUT AND ARRANGEMENT DRAWINGS. THE DRAWINGS ARE NOT INTENDED TO SHOW COMPLETE OR PRECISE MEASUREMENTS AND DETAILS OF THE BUILDING AND INSTALLATION IN EVERY RESPECT, AND THEY DO NOT INCLUDE ALL DETAILS OF MANUFACTURED EQUIPMENT, CONSTRUCTION, PIPING, DUCTWORK, ETC. MEASUREMENT FIGURES WRITTEN UPON THE DRAWINGS INDICATING DIMENSIONS SHALL BE USED INSTEAD OF SCALED MEASUREMENTS. NO SCALE MEASUREMENT TAKEN FROM A DRAWING SHALL BE RELIED UPON AS A DIMENSION FOR INSTALLATION PURPOSES. EXACT LOCATIONS AND MEASUREMENTS ARE TO BE DEFINED IN THE FIELD, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR ACCURACY AND USE IN CONSTRUCTION OF THE WORK

ASBESTOS CONTAINING MATERIAL.

SUBSTITUTION.

- INTERFERENCES: THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ALL OTHER TRADES IN ORDER TO ELIMINATE INTERFERENCES. HE SHALL EXAMINE IN ADVANCE THE LOCATION OF ELECTRICAL SYSTEMS, DUCTS, PIPING, STRUCTURES, CONDUITS, AND OTHER EQUIPMENT AND COMPONENTS TO BE INSTALLED. AND PROPERLY COORDINATE THE INSTALLATION OF MECHANICAL WORK TO AVOID INTERFERENCES. THE ENGINEERS HAVE CONSIDERED EXISTING INTERFERENCES IN MAKING THE DRAWINGS, BUT IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MODIFY, OFFSET, OR OTHERWISE ACCOMMODATE ALL EQUIPMENT TO THE STRUCTURE, UTILITIES, AND OTHER EQUIPMENT.
- UTILITIES: UNLESS NOTED OTHERWISE THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL OF HIS UTILITY REQUIREMENTS. SUBSTITUTIONS: THE MATERIALS, PRODUCTS, AND EQUIPMENT DESCRIBED IN THE DOCUMENTS ESTABLISH A STANDARD OF REQUIRED FUNCTION, DIMENSION, APPEARANCE, SERVICEABILITY, AVAILABILITY OF SPARE PARTS AND QUALITY TO BE MET BY ANY PROPOSED
- A. SUBSTITUTION OF EQUIPMENT, PRODUCTS, OR MATERIAL MUST BE APPROVED BY THE OWNER OR HIS REPRESENTATIVE. REVIEW OF PROPOSED SUBSTITUTIONS WILL BE MADE AS PART OF SUBMITTAL REVIEW AFTER THE PROJECT IS AWARDED.
- B. THE SUBSTITUTION OF PRODUCTS, MATERIAL, OR EQUIPMENT WHICH REQUIRES REDESIGN OF ANY PORTION OF THE PACKAGE WILL BE PREPARED BY THE CONTRACTOR AT HIS EXPENSE AND APPROVED BY THE OWNER OR HIS REPRESENTATIVE.
- SUBMITTALS: THE CONTRACTOR SHALL PROVIDE SIX COPIES OF CERTIFIED DETAIL CATALOG CUT SHEETS OF ALL MATERIAL AND EQUIPMENT HE IS PROVIDING AS SUBMITTAL DOCUMENTATION TO THE OWNER. A. THE CONTRACTOR SHALL PRESENT COMPLETE PERFORMANCE INFORMATION ON EACH PIECE OF EQUIPMENT ORGANIZED IN A
- MANNER RESEMBLING THAT ON THE CONTRACT DOCUMENTS. INCOMPLETE INFORMATION WILL NOT BE REVIEWED. B. THE CONTRACTOR SHALL RECEIVE WRITTEN APPROVAL FROM THE OWNER OR HIS AUTHORIZED REPRESENTATIVE PRIOR TO PURCHASE AND INSTALLATION OF SAID MATERIAL AND EQUIPMENT.
- RECORD DRAWINGS AND MAINTENANCE MANUALS: A. THE CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON THE JOB AND SHALL, AS CONSTRUCTION PROGRESSES, RECORD ANY CHANGES WHERE CONSTRUCTION IS DIFFERENT FROM THE DESIGN DOCUMENTS. AT THE TIME OF FINAL INSPECTION, ONE SET OF RECORD DRAWINGS IN ADDITION TO ONE SET OF APPROVED SUBMITTAL DOCUMENTS SHALL BE TURNED OVER TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST ASSOCIATED WITH THESE DOCUMENTS.
- B. AT THE TIME OF FINAL INSPECTION THE CONTRACTOR SHALL TURN OVER TO THE OWNER AN OPERATION AND MAINTENANCE MANUAL ENCOMPASSING ALL OF THE MECHANICAL COMPONENTS INSTALLED. THE MANUAL SHALL CLEARLY IDENTIFY THE CAPACITY OF THE EQUIPMENT INSTALLED, WIRING DIAGRAMS, CONTROL SEQUENCES.
- C. THE MANUAL SHALL ALSO INCLUDE NAME, ADDRESS, AND TELEPHONE NUMBER OF SERVICE ORGANIZATIONS. THE MANUAL SHALL CLEARLY IDENTIFY SERVICE REQUIREMENTS, WARRANTY, AND RECOMMENDED SERVICE INTERVALS.
- 9. PIPING: PIPING MATERIALS SHALL BE IN ACCORDANCE WITH THE PIPE SUPPORT TABLE THAT APPEARS IN THESE DOCUMENTS. A. ALL PIPE SHALL BE ADEQUATELY BRACED AND SUPPORTED. PIPE HANGERS AND SUPPORTS SHALL CONFORM TO THE REQUIREMENTS OF MSS SP-58. SUPPORT SPANS SHALL NOT EXCEED THOSE NOTED IN THE PIPE SUPPORT TABLE APPEARING IN THESE DOCUMENTS. IN ADDITION TO THE MAXIMUM ALLOWABLE SPACING BETWEEN SUPPORTS, HORIZONTAL PIPING SHALL BE SUPPORTED AT TERMINATION OF ALL HORIZONTAL RUNS OR BRANCHES, AND AT EACH CHANGE OF DIRECTION.
- B. OPEN PIPE ENDS SHALL BE COVERED AND FREE OF DEBRIS DURING CONSTRUCTION. C. WHERE THE SIZE OF REFRIGERANT PIPE IS NOT NOTED ON THE DRAWINGS. THE PIPE SHALL BE SIZED BY THE CONTRACTOR IN ACCORDANCE WITH THE EQUIPMENT MANUFACTURERS RECOMMENDATIONS BASED ON THE LIFT AND RUN OF THE SPECIFIC
- INSTALLATION. THIS SHALL INCLUDE ACCUMULATORS AND/OR SOLENOID VALVES, IF REQUIRED.). REFRIGERANT PIPE AND ASSOCIATED AIR CONDITIONING EQUIPMENT SHALL BE EVACUATED AND CHARGED IN ACCORDANCE WITH
- THE EQUIPMENT MANUFACTURER'S STANDARDS. . REFRIGERANT PIPING SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE WITH HYDRA ZORB CUSHIONED CLAMPS OR EQUAL. INSULATION AT PIPE SUPPORTS SHALL BE COVERED WITH A PVC SLEEVE OR OTHER SUITABLE MATERIAL TO PREVENT THE CRUSHING OF THE INSULATION.
- . REFRIGERANT SUCTION PIPE SHALL BE INSULATED WITH 1" THICK ELASTOMERIC FOAM INSULATION.
- G. PVC PIPING SHALL NOT BE INSTALLED IN ANY AREA USED AS A SUPPLY OR RETURN AIR PLENUM. 10. INSULATION: PIPE AND DUCTWORK SHALL BE INSULATED IN ACCORDANCE WITH THE PIPE SUPPORT TABLE AND THE DUCTWORK SECTION OF THESE SPECIFICATIONS.
- A. INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 50 OR LESS IN ACCORDANCE WITH UL 723.
- B. FIBERGLASS PIPE INSULATION SHALL BE EQUAL TO CERTAINTEED SNAP ON ASJ/SSL.
- C. FIBERGLASS INSULATION ON PIPE FITTINGS SHALL BE MOLDED FIBERGLASS FITTING COVER WITH WHITE PVC JACKET.
- D. FIBERGLASS DUCTWRAP SHALL HAVE A FACTORY APPLIED FSK OR FOIL VAPOR BARRIER AND EQUAL TO OWENS CORNING TYPE 75. THICKNESS SHALL BE AS DESCRIBED UNDER DUCTWORK.
- E. FIBERGLASS DUCT LINER SHALL BE EQUAL TO CERTAINTEED TOUGHGARD R. LINER SHALL BE TREATED WITH AN EPA RECOGNIZED ANTI-MICROBIAL AGENT AND SHALL NOT SUPPORT FUNGAL OR BACTERIAL GROWTH IN ACCORDANCE WITH ASTM G 21 AND G22 TEST METHODS. LINER SHALL BE CLEANABLE IN ACCORDANCE WITH NAIMA METHODS. THE LINER SHALL HAVE A TOUGH COMPOSITE SURFACE AND SHALL BE SUITABLE FOR VELOCITIES UP TO 6000 FPM. UNLESS NOTED OTHERWISE FIBERGLASS DUCT LINER SHALL BE 1" THICK.
- F. INSULATED PIPE SHALL BE PROTECTED FROM DAMAGE OR COMPRESSION FROM HANGERS AT THE POINT OF SUPPORT USING HALF SLEEVE SHIELDS EQUAL TO GRINNEL FIG. 167 OR THE USE OF PRE-INSULATED PIPE SADDLES EQUAL TO ANVIL 260 ISS. G. ARMAFLEX INSULATION SHALL BE EQUAL TO ARMSTRONG ARMAFLEX ELASTOMERIC FOAM INSULATION APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. OUTSIDE INSTALLATIONS SHALL RECEIVE TWO COATS OF WB ARMAFLEX FINISH.
- A. UNLESS OTHERWISE NOTED ALL DUCT CONSTRUCTION AND SUPPORTS SHALL CONFORM TO THE REQUIREMENTS OF SMACNA
- HVAC DUCT CONSTRUCTION STANDARDS, LATEST EDITION, UL 181, AND LOCAL CODES. B. SUPPLY AIR, OUTSIDE AIR, AND RETURN AIR DUCTWORK TO AIR HANDLING EQUIPMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF DUCT RATED FOR 1" W.G. DUCT MATERIAL SHALL BE LOCK FORMING QUALITY GALVANIZED STEEL,
- C. DUCTS SHALL BE SEALED IN THE LONGITUDINAL AND TRANSVERSE DIRECTION. TAPES AND MASTICS USED TO SEAL DUCTWORK SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 181A OR 181B-M. DUCT CONNECTIONS TO FLANGES ON AIR DISTRIBUTION EQUIPMENT SHALL BE MECHANICALLY FASTENED AND SEALED. UNLISTED DUCT TAPE IS NOT PERMITTED TO BE USED AS A
- D. DUCTWORK SHALL BE INSULATED AS DESCRIBED BELOW. INSULATION MATERIALS INSIDE THE BUILDING ENVELOPE OR IN THE AIRSTREAM, INCLUDING LININGS, COVERINGS, AND ADHESIVES, SHALL HAVE A FLAME SPREAD RATING NOT OVER 25 AND A SMOKE DEVELOPED RATING NOT OVER 50.
- E. SUPPLY AND RETURN DUCT INSTALLED IN UNINSULATED ATTIC AND CRAWL SPACE AREAS SHALL BE INSULATED WITH FIBERGLASS DUCTWRAP WITH AN INSTALLED THICKNESS OF 2 1/8" (R8 MIN). OUTSIDE AIR DUCT AND SUPPLY METAL DUCT INSTALLED ABOVE SUSPENDED CEILINGS SHALL BE EXTERNALLY INSULATED WITH 1 1/2" THICK FIBERGLASS DUCT WRAP. THE INSULATION SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- F. DUCT SIZES NOTED ON THE DRAWINGS ARE BASED ON "FREE FLOW AREA". SHEET METAL SIZES WILL BE LARGER WHERE DUCT
- LINER IS SPECIFIED TO ACCOMMODATE THE LINER. G. MITERED SQUARE ELBOWS SHALL BE EQUIPPED WITH SINGLE THICKNESS TURNING VANES.
- H. INSULATED FLEXIBLE DUCTWORK SHALL BE CONSTRUCTED OF AN INNER AIR BARRIER OVER A COILED STEEL WIRE STRUCTURE, COVERED WITH INSULATION EQUAL TO R-5 AND A FOIL OR VAPOR BARRIER. INSULATED FLEXIBLE DUCTWORK SHALL CONFORM TO THE REQUIREMENTS OF UL 181, CLASS I, AIR DUCT. LENGTH SHALL NOT EXCEED 10 FEET. FLEXIBLE DUCT SHALL BE SUPPORTED WITH 1.5" WIDE GALVANIZED STRAPS OR 2" WIDE FABRIC STRIPS. SPACING INTERVALS FOR FLEXIBLE DUCT SUPPORTS SHALL NOT EXCEED 64" AND DROOP BETWEEN SUPPORTS SHALL NOT EXCEED 2.0". FLEXIBLE DUCT SHALL BE ROUTED SUCH THAT FULL FLOW AREA IS MAINTAINED AND TURNS HAVE A MINIMUM RADIUS OF 2 TIMES THE DUCT DIAMETER.
- RECTANGULAR DAMPERS NOTED ON THE DRAWINGS AS "MBD" SHALL BE OPPOSED BLADE BALANCING DAMPERS EQUAL TO RUSKIN MD-35. ROUND DAMPERS NOTED AS "MBD" SHALL BE EQUAL TO RUSKIN CDRS25. MBD DAMPERS SHALL BE INSTALLED WITH LOCKING MANUAL OPERATOR
- J. FLEXIBLE DUCT TAKE-OFFS FROM RECTANGULAR DUCT SHALL BE SPIN IN TAPS WITH SINGLE BLADE DAMPER. TAKE-OFF SHALL NOT HAVE SCOOPS
- K. FLEXIBLE DUCT CONNECTORS SHALL BE EQUAL TO VENTFABRICS "VENTGLAS" FOR INTERIOR APPLICATIONS AND VENTFABRICS "VENTLON" WHERE EXPOSED TO WEATHER AND SHALL BE INSTALLED AT THE INLET AND OUTLET OF ALL AIR HANDLERS AND ROOF TOP AIR CONDITIONING UNITS. THE FLEXIBLE CONNECTOR SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- L. DUCTS SHALL BE ADEQUATELY SUPPORTED. WHERE METAL DUCTS ARE SUPPORTED WITH METAL STRAPS THE STRAPS SHALL BE A MINIMUM OF 1" WIDE AND OF THE SAME GAGE OR HEAVIER THAN THE DUCT SUPPORTED. METAL DUCT SHALL BE SUPPORTED WITH APPROVED HANGERS AT INTERVALS NOT EXCEEDING 10 FEET. FLEXIBLE DUCT SHALL BE SUPPORTED WITH 1.5" WIDE GALVANIZED STRAPS OR 2" WIDE FABRIC STRIPS. SPACING INTERVALS FOR FLEXIBLE DUCT SUPPORTS SHALL NOT EXCEED 64". MAXIMUM PERMISSIBLE SAG IS 1/2" PER FOOT. 12. EQUIPMENT MISCELLANEOUS:
- A. LABELS: ALL EQUIPMENT SHALL HAVE A PERMANENTLY AFFIXED LABEL FROM THE MANUFACTURER. LABEL SHALL INCLUDE THE EQUIPMENT'S ELECTRICAL REQUIREMENTS. MANUFACTURER AND MODEL NUMBER OF THE EQUIPMENT. HEATING FUEL INPUT. BTU RATING, AND A SEAL INDICATING APPROVAL BY AN APPROVED TESTING AGENCY.
- B. REFRIGERANT ACCESS PORTS SHALL BE FITTED WITH LOCKING-TYPE TAMPER RESISTANT CAPS OR SHALL OTHERWISE BE
- SECURED AGAINST UNAUTHORIZED ACCESS.
- A. CONTROL COMPONENTS AND SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE. B. CONTROL WIRING INSTALLED EXTERIOR TO THE BUILDING ENVELOPE SHALL BE INSTALLED IN WEATHER TIGHT GALVANIZED
- C. CONTROL WIRING INSTALLED INSIDE THE BUILDING WITHIN EIGHT FEET OF FINISHED FLOOR SHALL BE INSTALLED IN CONDUIT OR

- ROUTED INSIDE WALLS.
- D. CONTROL WIRING INSTALLED IN AIR PLENUMS SHALL HAVE INSULATION SUITABLE FOR PLENUM INSTALLATION IN ACCORDANCE WITH NEPA REQUIREMENTS WALL MOUNTED THERMOSTATS OR SENSORS SHALL BE INSTALLED 4' 0" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED ON
- DRAWINGS. LOCATION OF WALL MOUNTED DEVICES SHALL BE COORDINATED WITH OTHER TRADES FOR A NEAT APPEARANCE.
- A. CONTRACTOR SHALL REMOVE ANY DEBRIS OR LOOSE MATERIALS FROM INSIDE THE DUCTWORK AND AIR HANDLING EQUIPMENT PRIOR TO START-UP.
- B. CONTRACTOR SHALL CLEAN THE EXTERIOR OF ALL EXPOSED DUCTS. FABRICATION MARKS AND MARKINGS SHALL BE REMOVED. C. CONTRACTOR SHALL INSTALL FILTERS WHERE CALLED FOR ON THE PLANS PRIOR TO START-UP AND CLEANING. CONTRACTOR SHALL REPLACE FILTERS DURING THE CLEANING PROCESS AS REQUIRED TO CLEAN AND PROTECT THE EQUIPMENT AND SYSTEM. FILTERS AT THE TIME OF TURNOVER OF THE SYSTEM TO THE OWNER SHALL BE NEW AND CLEAN.
- 16. START-UP: A. ALL NEW PIPING SHALL BE TESTED AT 1.5 TIMES NORMAL WORKING PRESSURE. PIPES MAY BE TESTED HYDROSTATICALLY, WITH COMPRESSED AIR, OR WITH NITROGEN. CAST IRON AND PLASTIC PIPING SHALL BE TESTED HYDROSTATICALLY. REFRIGERANT PIPING SHALL BE TESTED WITH DRY NITROGEN. ALL TESTING SHALL BE DONE IN ACCORDANCE WITH CODE REQUIREMENTS. ALL
- LEAKS SHALL BE REPAIRED PRIOR TO PUTTING THE PIPING IN SERVICE. B. EQUIPMENT SHALL BE CYCLED THROUGH ALL HEATING, COOLING, AND VENTILATION CYCLES TO INSURE PROPER OPERATION OF
- ALL COMPONENTS AND CONTROLS PRIOR TO TEST AND BALANCE. C. DESIRED OR FIELD DETERMINED SET POINTS SHALL BE PERMANENTLY RECORDED ON CONTROL DRAWINGS, AT CONTROL DEVICES, OR IN DIGITAL PROGRAMMING COMMENTS.
- 17. TEST AND BALANCE: A. ACTUAL AIRFLOW VALUES SHALL BE SET TO WITHIN 10% OF THE DESIGN VALUES NOTED ON THE DRAWINGS.
- B. THE FINAL SUPPLY, EXHAUST, AND RETURN AIRFLOW SHALL BE TESTED, ADJUSTED, BALANCED, AND RECORDED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTERS 4 AND 6 OF THE IMC AND PROCEDURES OF THE NEBB OR AABC. THIS SHALL INCLUDE MAXIMUM AND MINIMUM VALUES WHERE NOTED ON THE DRAWINGS.
- C. RECORD VOLTAGE, AMPERAGE, AND TOTAL AIRFLOW ON ALL AIR CONDITIONING AND HEATING EQUIPMENT. ADJUST FAN SPEED AS REQUIRED TO MEET MINIMUM AIRFLOW REQUIREMENTS.
- D. BALANCE SCOPE SHALL INCLUDE ASSISTING THE MECHANICAL AND CONTROLS CONTRACTORS IN SETTING THE MINIMUM AND MAXIMUM POSITIONS ON OUTSIDE AIR DAMPER(S) TO ACHIEVE THE AIRFLOWS SPECIFIED ON THE SCHEDULE. E. THE TEST AND BALANCE PERSONNEL SHALL ENDEAVOR TO FIRST REDUCE THROTTLING LOSSES THEN FAN SPEED OR IMPELLER
- SIZE SHALL BE ADJUSTED TO MEET DESIGN FLOW CONDITIONS. CHECK AND RECORD OPERATING REFRIGERANT PRESSURES ON SPLIT SYSTEM AIR CONDITIONING EQUIPMENT OR HEAT PUMPS. RECORDED DATA SHALL REPRESENT ACTUALLY MEASURED OR OBSERVED CONDITION. SET AND LOCK MEMORY STOPS. ADJUST
- AIR SYSTEMS TO PLUS OR MINUS 10 PERCENT FROM FIGURES INDICATED. H. PROVIDE BALANCE REPORT IN SOFT COVER, LETTER SIZE, 3-RING BINDER, WITH INDEX PAGE AND TABS, AND COVER IDENTIFICATION. INCLUDE REDUCED SCALE DRAWINGS WITH AIR OUTLETS AND EQUIPMENT IDENTIFIED TO CORRESPOND WITH DATA SHEETS. DATA SHEETS SHALL BE IN THE FORMAT OF THE AABC OR NEBB.
- OWNER RESERVES THE RIGHT TO HAVE BALANCE WORK SPOT-CHECKED BY AABC OR NEBB REGISTERED BALANCING FIRM. IF MORE THAN 10% OF THE GRILLES ARE FOUND TO DEVIATE FROM THE LEVELS NOTED IN THE REPORT THE CONTRACTOR WILL REBALANCE THE SYSTEM IN ITS ENTIRETY AT NO ADDITIONAL COST TO THE OWNER.

MECHANICAL SYMBOLS PLAN NOTE AD ACCESS DOOR ADJ **ADJUSTABLE** DIRECTION OF AIR FLOW AFF ABOVE FINISHED FLOOR **APPROX** APPROXIMATELY RECTANGULAR DUCT & SIZE AIR HANDLING UNIT AH or AHU COMMON CD CONDENSATE DRAIN ROUND DUCT AND SIZE CUBIC FEET PER MIN. CFM CEILING RECT. SUPPLY DUCT TURNING UP COND CONDENSATE

RECT. RETURN DUCT TURNING UP RECT. RETURN DUCT TURNING DOWN RECT. EXHAUST DUCT TURNING UP RECT. EXHAUST DUCT TURNING DOWN

UNLESS NOTED OTHERWISE BUTTERFLY TYPE MANUAL

VOLUME DAMPER MANUAL OPPOSED BLADE **VOLUME DAMPER**

◆~

10x12

10"Ø

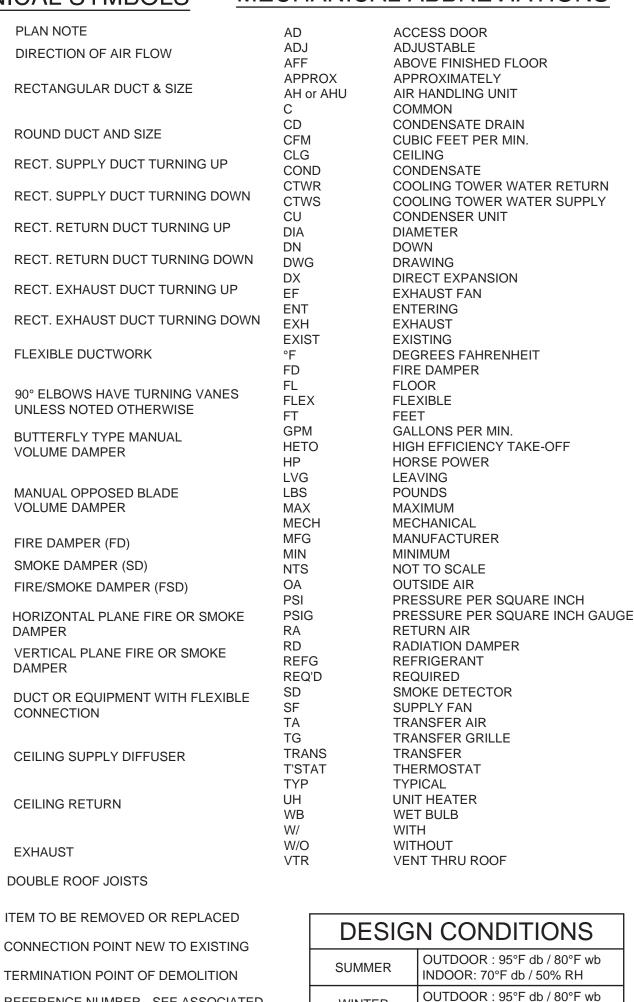
SMOKE DAMPER (SD)

EXHAUST

CO2 SENSOR

ITEM TO BE REMOVED OR REPLACED CONNECTION POINT NEW TO EXISTING TERMINATION POINT OF DEMOLITION REFERENCE NUMBER - SEE ASSOCIATED NUMBER ON PLAN DRAWINGS **THERMOSTAT**

MECHANICAL ABBREVIATIONS



| PIPE SUPPORT TABLE | | | |
|---|--------------------------------|-------------------------------|--|
| PIPING MATERIAL | MAX. HORIZ.
SPACING
(FT) | MAX. VERTICAL
SPACING (FT) | |
| STEEL, SHEDULE 10 & GREATER | 12 | 15 | |
| COPPER & BRASS PIPE | 12 | 10 | |
| COPPER & COPPER-ALLOY
TUBING | | | |
| 1 1/4" & < | 6 | 10 | |
| 1 1/2" & > | 10 | 10 | |
| CPVC PIPE | | | |
| 1" & < | 3 | 10 | |
| 1 1/4" & > | 4 | 10 | |
| PEX TUBING & POLYPROPYLENE
PIPE 1" & SMALLER | 2'-8" | 10 | |
| PVC (*), ABS | 4 | 10 | |
| CAST & DUCTILE IRON | 5 (**) | 15 | |

- (*) SPACING AT 80°F. SEE MANUFACTURER'S REQUIREMENTS IF
- TEMPERATURES ARE ABOVE 80°F. (**) HANGER IS WITHIN 18" OF EACH JOINT WITH MAXIMUM HANGER SPACING NOT TO EXCEED 5' ON 5' LENGTHS AND 10' ON 10' LENGTHS OF PIPE.

- 1. PIPES 4" AND LARGER SHALL BE RESTRAINED AT ALL CHANGES IN DIRECTION. 2. ADDITIONAL SUPPORT SHALL BE PROVIDED AT INLET AND
- OUTLET OF VALVES, FILTERS, METERS, OR SIMILAR DEVICES. WHICH IMPOSE ADDITIONAL WEIGHT ON THE PIPE. BASED ON 2015 INTERNATIONAL MECHANICAL CODE.
- 4. AS AN ALTERNATE PEX TUBING MAY BE SUPPORTED CONTINUOUSLY USING UPONOR PEX-a PIPE SUPPORT OR **EQUAL**

| | MECHANICAL DRAWING LIST | | |
|-------|---|--|--|
| M.001 | MECHANICAL LEGEND AND SPECIFICATIONS | | |
| M.101 | MECHANICAL FIRST FLOOR DEMOLITION PLAN | | |
| M.102 | MECHANICAL SECOND FLOOR DEMOLITION PLAN | | |
| M.103 | MECHANICAL FIRST FLOOR NEW WORK PLAN | | |
| M.104 | MECHANICAL SECOND FLOOR NEW WORK PLAN | | |
| M.501 | MECHANICAL DETAILS | | |
| M.601 | MECHANICAL SCHEDULES | | |
| | | | |

WINTER

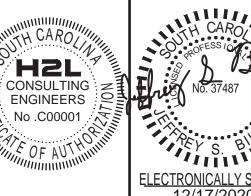
INDOOR: 68°F db

MECHANICAL CODES & STANDARDS SMACNA (2005) HVAC DUCT CONSTRUCTION STANDARDS MANUAL, THIRD EDITION IBC (2018) INTERNATIONAL BUILDING CODE IECC (2009) INTERNATIONAL ENERGY CONSERVATION CODE IMC (2018) INTERNATIONAL MECHANICAL CODE STANDARD FOR THE INSTALLATION AIR-CONDITIONING & NFPA 90A (2009) VENTILATING SYSTEMS

CONSULTING ENGINEERS

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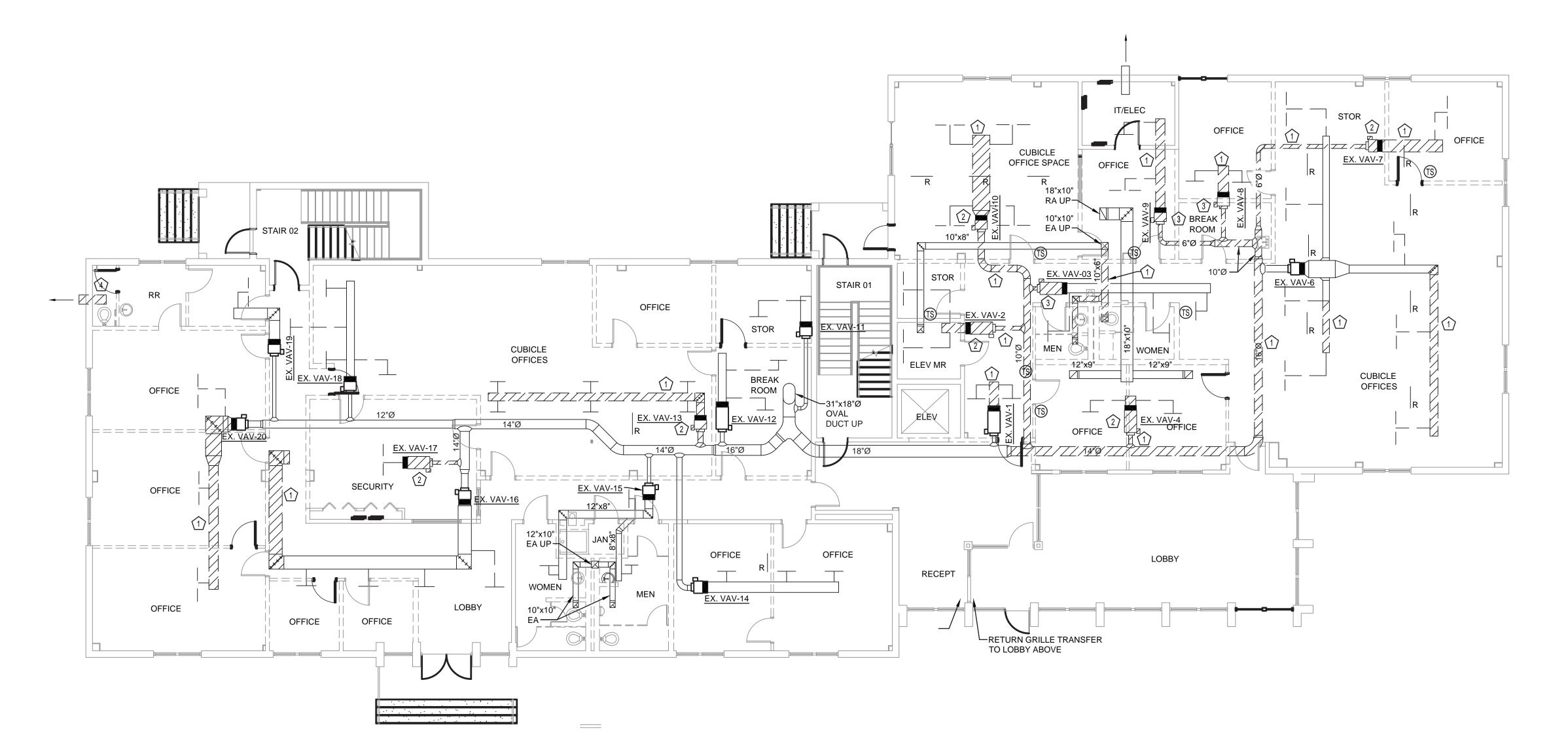
> MECHANICAL LEGENDS AND **SPECIFICATIONS**

> > 20002.01

12/17/2020 Approved By: WBS

JSB Checked By: Orawn By: Project No:

Sheet No:



MECHANICAL FIRST FLOOR - DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

DEMOLITION NOTES:

- VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
- 2. REMOVE EXISTING THERMOSTAT, CONTROL WIRING AND ELECTRICAL RE-HEAT ASSOCIATED WITH TERMINAL UNIT TO BE REMOVED OR RELOCATED IN REMODEL AREA.
- 3. REMOVAL OF EXISTING MECHANICAL DUCTWORK OR EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY.
- 4. COORDINATE WITH GENERAL CONTRACTOR THE REMOVAL AND REPLACEMENT OF ALL EXISTING CEILINGS, WALLS, ETC. AS REQUIRED FOR MECHANICAL DEMOLITION WORK.
- 5. EXISTING PIPING AND EQUIPMENT, ETC., NOT TO BE UTILIZED IN THE COMPLETED BUILDING SHALL BE DISCONTINUED OR REMOVED AS REQUIRED. ALL ENDS OF DISCONTINUED DUCTWORK SHALL BE CAPPED AT THE NEAREST WALL, CEILING OR FLOOR. OPENINGS LEFT IN WALLS, CEILINGS, ETC., WHERE DUCTWORK AND PIPE, ETC., ARE REMOVED AND NOT REPLACED, SHALL BE PATCHED NEATLY WITH SIMILAR MATERIAL TO ADJACENT CONSTRUCTION. REFER TO DRAWINGS DELINEATING NEW WORK FOR ADDITIONAL INFORMATION REGARDING SYSTEMS OR PORTIONS OF SYSTEMS WHERE USE IS TO BE DISCONTINUED.
- 6. EXISTING FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
- 7. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
- 8. WHERE EXISTING DUCTWORK AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE.
- 9. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODEL BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
- 10. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE.
- 11. ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY DISPOSED OF.

DEMOLITION KEYED NOTES: **(x)**

- 1. DISCONNECT AND REMOVE EXISTING SUPPLY DUCTS, AND ALL ASSOCIATED FITTINGS AND DAMPERS.
- 2. DISCONNECT EXISTING VAV BOX. BOXES SHALL BE REUSED AND RELOCATED IN NEW WORK PLAN. REFER TO M103 FOR NEW BOX LOCATIONS.
- 3. DISCONNECT EXISTING VAV BOX. BOX SHALL NOT BE REUSED AND SHALL BE RETURNED TO OWNER.
- 4. DISCONNECT AND REMOVE EXISTING EXHAUST DUCT. PATCH WALL PENETRATION.

DEMOLITION LEGEND:





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COLUMBIA HOUSING AUTHORITY

1917 HARDEN STREET Columbia, SC 29204

MECHANICAL FIRST FLOOR DEMOLITION PLAN

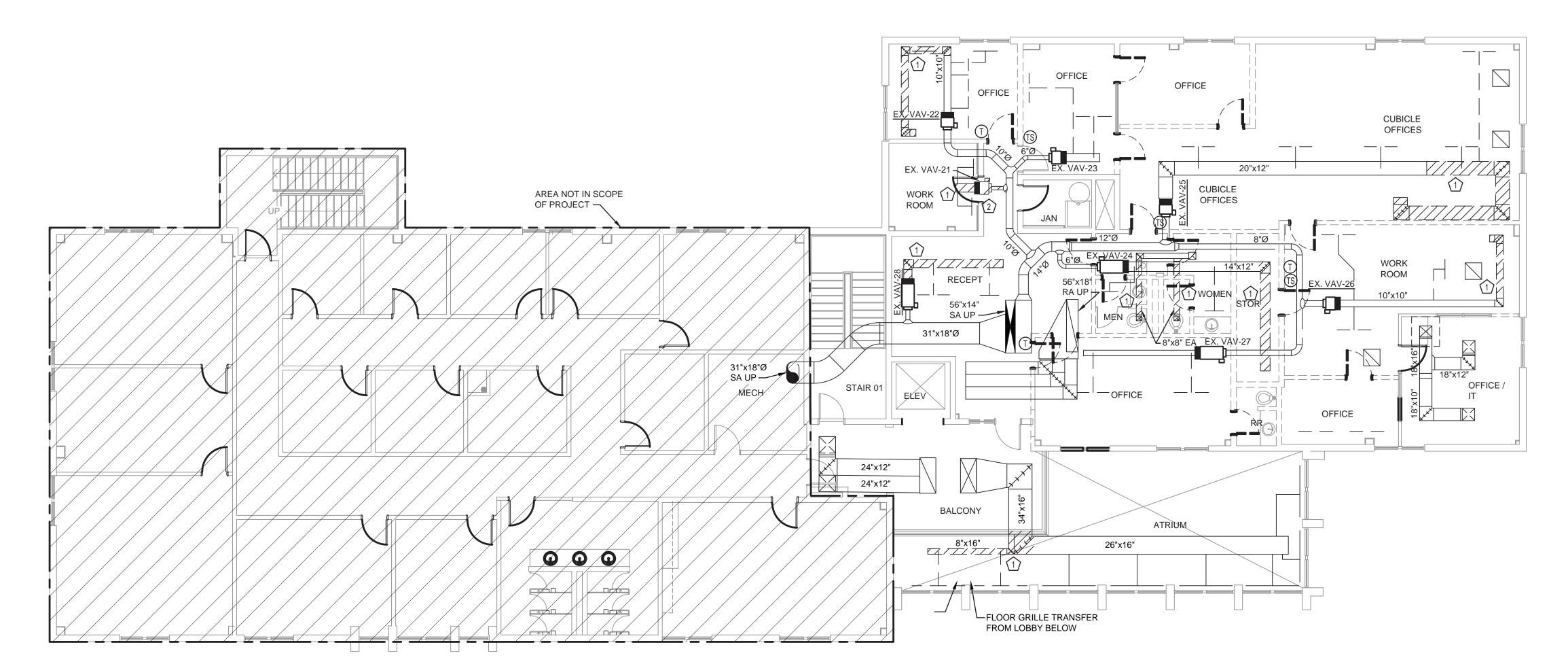
Date: 12/17/2020 Approved By: WBS

Drawn By: J

JSB Checked By: 20002.01

heet No:

M101



MECHANICAL SECOND FLOOR - DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

DEMOLITION NOTES:

- 1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
- 2. REMOVE EXISTING THERMOSTAT, CONTROL WIRING AND ELECTRICAL RE-HEAT ASSOCIATED WITH TERMINAL UNIT TO BE REMOVED OR RELOCATED IN REMODEL AREA.
- 3. REMOVAL OF EXISTING MECHANICAL DUCTWORK OR EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY.
- 4. COORDINATE WITH GENERAL CONTRACTOR THE REMOVAL AND REPLACEMENT OF ALL EXISTING CEILINGS, WALLS, ETC. AS REQUIRED FOR MECHANICAL DEMOLITION WORK.
- 5. EXISTING PIPING AND EQUIPMENT, ETC., NOT TO BE UTILIZED IN THE COMPLETED BUILDING SHALL BE DISCONTINUED OR REMOVED AS REQUIRED. ALL ENDS OF DISCONTINUED DUCTWORK SHALL BE CAPPED AT THE NEAREST WALL, CEILING OR FLOOR. OPENINGS LEFT IN WALLS, CEILINGS, ETC., WHERE DUCTWORK AND PIPE, ETC., ARE REMOVED AND NOT REPLACED, SHALL BE PATCHED NEATLY WITH SIMILAR MATERIAL TO ADJACENT CONSTRUCTION. REFER TO DRAWINGS DELINEATING NEW WORK FOR ADDITIONAL INFORMATION REGARDING SYSTEMS OR PORTIONS OF SYSTEMS WHERE USE IS TO BE DISCONTINUED.
- 6. EXISTING FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
- 7. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
- 8. WHERE EXISTING DUCTWORK AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE.
- 9. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODEL BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
- 10. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS
- 11. ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY DISPOSED OF.

DEMOLITION KEYED NOTES: **(2)**

1. DISCONNECT AND REMOVE EXISTING SUPPLY DUCTS BACK TO MAIN AND TEMPORARILY CAP FOR NEW WORK.

2. DISCONNECT EXISTING VAV BOX. BOXES SHALL BE REUSED AND RELOCATED IN NEW WORK PLAN. REFER TO M104 FOR NEW BOX LOCATIONS.

DEMOLITION LEGEND:





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COLUMBIA HOUSING **AUTHORITY**

1917 HARDEN STREET Columbia, SC 29204

MECHANICAL SECOND FLOOR **DEMOLITION PLAN**

12/17/2020 Approved By: WBS

JSB Checked By:

M102

20002.01

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- 1. VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- 2. NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL
- 3. PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS, ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- 4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS, CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING.
- 6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A WORKING INSTALLATION.
- 7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- 8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
- 9. COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS RISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
- 10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
- 11.DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH E.C. PROVIDE WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED.
- 12. COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL EQUIPMENT.
- 13. ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS.
- 14. COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND EQUIPMENT.
- 15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON MECHANICAL COVER SHEET FOR FURTHER INFORMATION.

PLAN NOTES: **(2)**

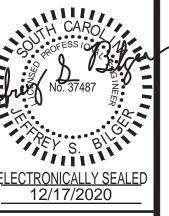
1. REINSTALL EXISTING VAV BOX REMAINING FROM DEMOLITION. REFER TO SCHEDULE FOR BOX PERFORMANCE DATA.



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MECHANICAL FIRST FLOOR **NEW WORK PLAN**

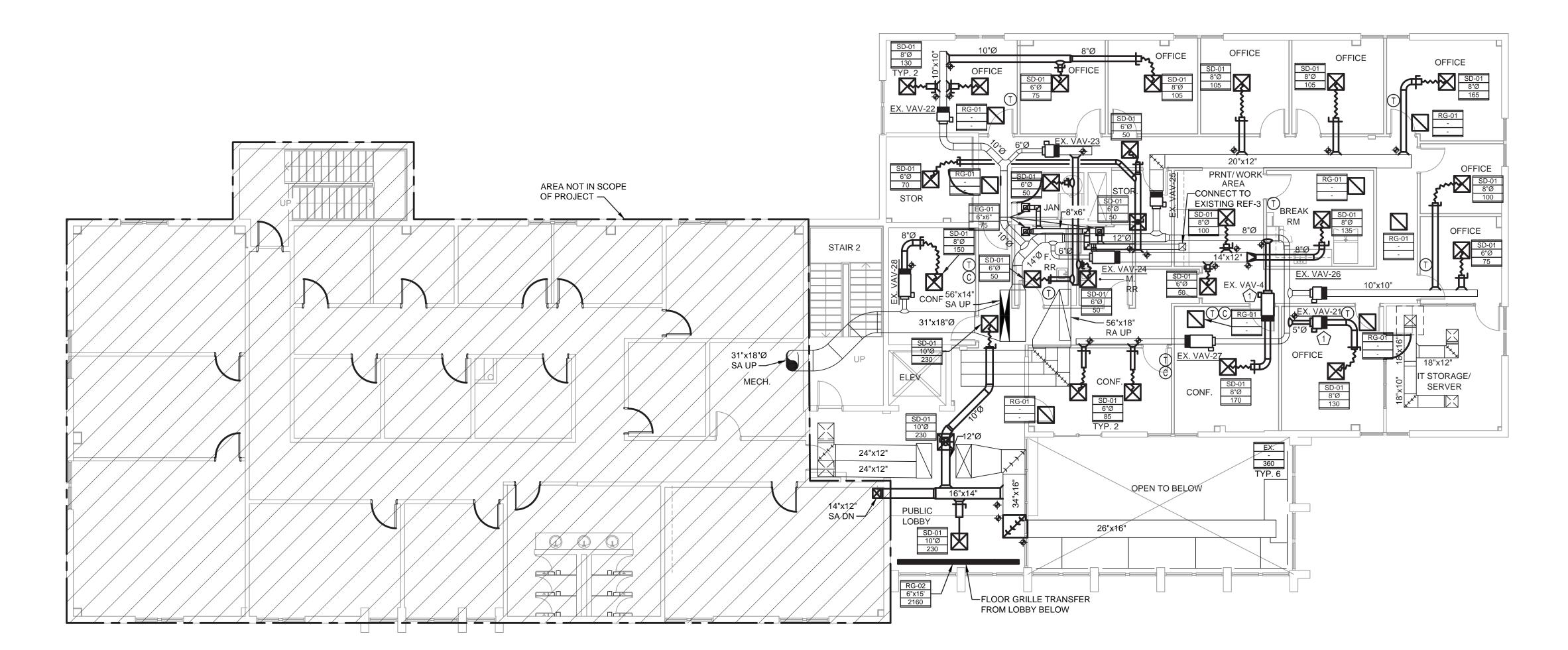
12/17/2020 Approved By: WBS

JSB Checked By:

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M103



MECHANICAL SECOND FLOOR - NEW WORK PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- 2. NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS.
- PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS, ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- 4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS, CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING.
- 6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A WORKING INSTALLATION.
- 7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- 8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
- 9. COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS RISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
- 10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
- 11.DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH E.C. PROVIDE WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED.
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- 15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON MECHANICAL COVER SHEET FOR FURTHER INFORMATION.

PLAN NOTES: **(2)**

1. REINSTALL EXISTING VAV BOX REMAINING FROM DEMOLITION. REFER TO SCHEDULE FOR BOX PERFORMANCE DATA.



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COLUMBIA HOUSING AUTHORITY

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MECHANICAL SECOND FLOOR

NEW WORK PLAN

Date: 12/17/2020 Approved By: WBS

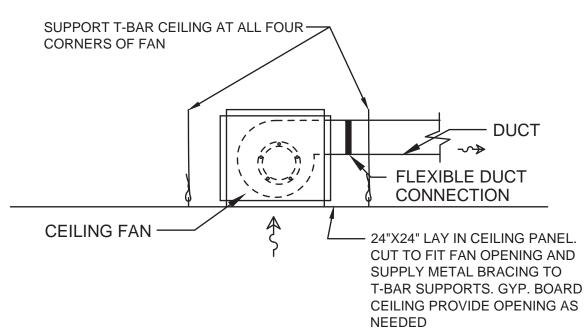
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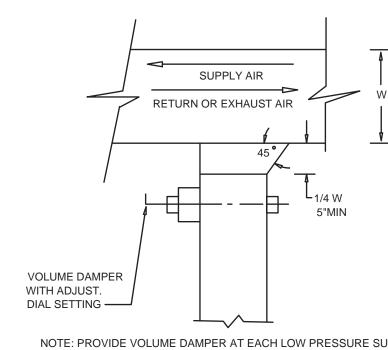
M104

TYP SINGLE DUCT VAV BOX W/ HEATING COIL DIAGRAM NOT TO SCALE

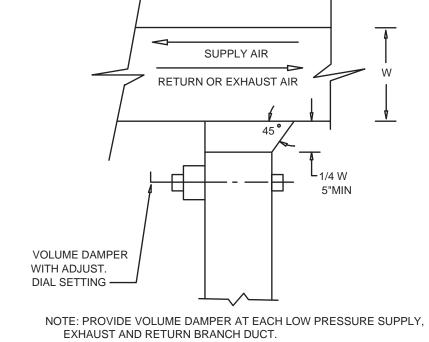


CEILING MOUNTED EXHAUST FAN DETAIL

NOT TO SCALE



DUCT BRANCH TAKEOFF



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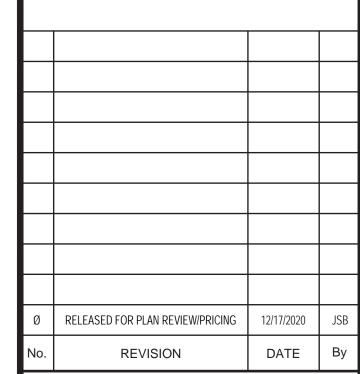
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ELECTRONICALLY SEALER 12/17/2020

H2L CONSULTING

ENGINEERS
No .C00001

CHA HARDEN **BLDG REMODEL**



COLUMBIA HOUSING **AUTHORITY**

> 1917 HARDEN STREET Columbia, SC 29204

> > **MECHANICAL DETAILS**

Date: 12/17/2020 Approved By: WBS

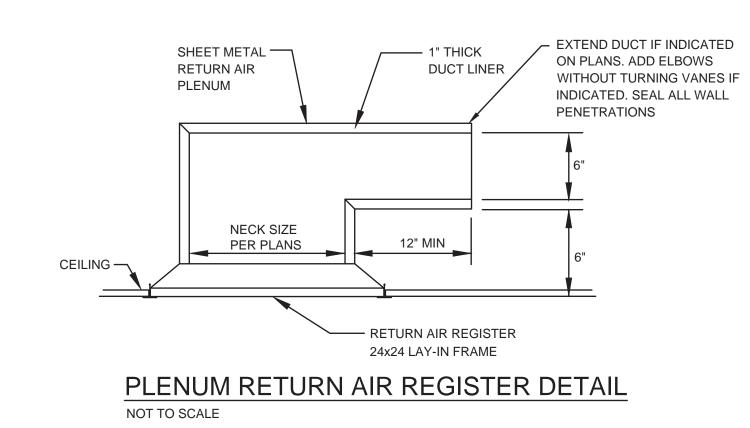
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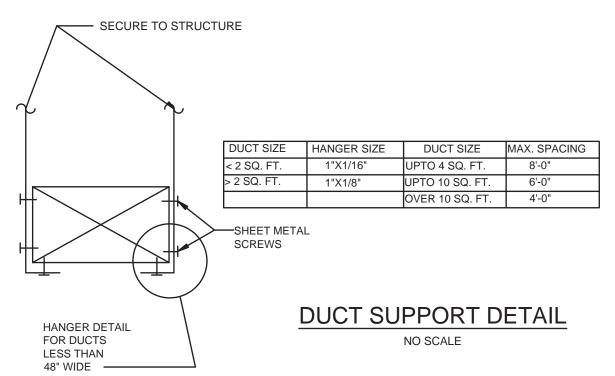
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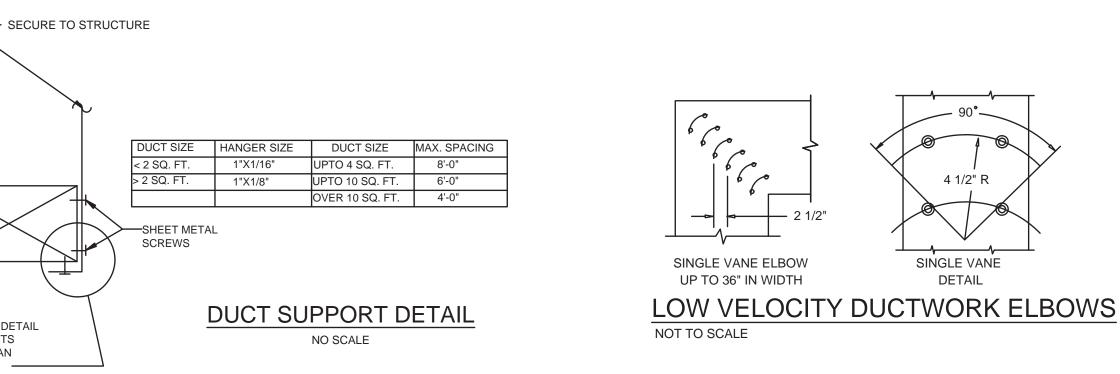
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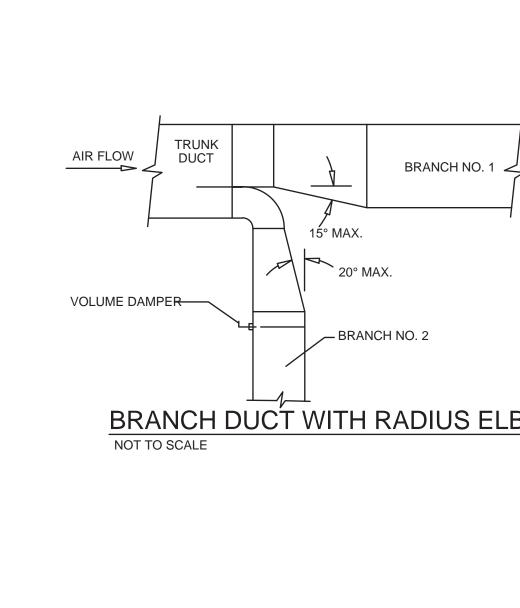
COPYRIGHT © 2020 H2L 24"x36"

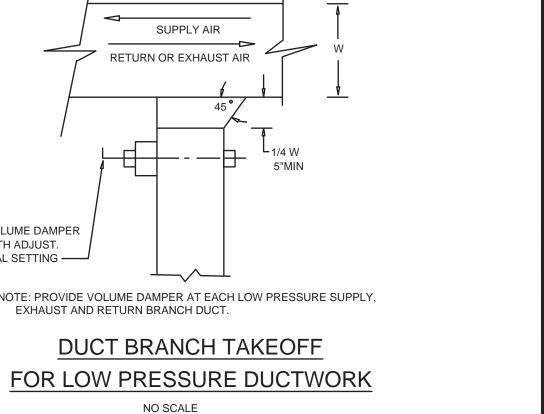
TRUNK DUCT AIR FLOW BRANCH NO. 1 < 15° MAX. VOLUME DAMPER BRANCH NO. 2 BRANCH DUCT WITH RADIUS ELBOW











4 1/2" R

SINGLE VANE

| | | | | | | DIFFU | SER. R | EGISTE | R. AND | GRILLE SCH | HEDULE | | | | | |
|-------|-------------------|----------|--------------------|-------------------------|--------------|--------|-----------|-----------------|----------------------------|---------------------|-----------------|--------|--------|--------------|----------|---------|
| | | | | DIF | FUSER CRITER | | , | | | REGISTER AND GRILLE | | | | EQUAL TO | <u> </u> | |
| MARK | DUTY | MATERIAL | NECK SIZE
(In.) | MODULE
SIZE
(In.) | FRAME STYLE | DAMPER | FINISH | UNIT SIZE (In.) | PATTERN
/
DEFLECTION | BLADE SPACING (In.) | BORDER
STYLE | DAMPER | FINISH | MANUFACTURER | MODEL | REMARKS |
| SD-01 | CEILING SUPPLY | STEEL | SEE DWG. | 24x24 | 4-WAY | YES | OFF WHITE | | | | | | | NAILOR | UNI | |
| RG-01 | CEILING RETURN | STEEL | | | | | | 24x24 | EGG CRATE | 1/2" x 1/2" | SEE ARCH | YES | NOTE 1 | NAILOR | 4260 | |
| RG-02 | BAR GRILLE RETURN | STEEL | | | | | | 6"x15 LIN. FT. | 6-BAR SLOT | 1/4" PENCIL-PROOF | SEE ARCH | NO | NOTE 1 | NAILOR | 49-240 | 2 |
| EG-01 | CEILING EXHAUST | STEEL | | | | | | 12x12 | EGG CRATE | 1/2" x 1/2" | SEE ARCH | YES | NOTE 1 | NAILOR | 61EC | |

NOTES:

1. COORDINATE FACTORY FINISH WITH ARCHITECT. 2. PROVIDE HEAVY DUTY MOUNTING FRAME FOR 2ND FLOOR GRILLE

| | | | EXISTING VA | V/CAV | TEI | RMI | NAI | L BO | OX SC | HE | :Dl | JLE | |
|------------|-------|-----------------|--------------------|-------------------|-------|--------|------|-------|---------|-------------|-----|--------|----------|
| | | | | | С | OOLING | 3 | | HE | ATING | 3 | | |
| MARK | MFR. | MODEL
NUMBER | AREA SERVED | INLET
DIAMETER | SENS. | | | | HEATING | Α | IR | ELEC | COMMENTS |
| | | NOWBER | | (IN.) | LOAD | CFM | CFM | (MBH) | CFM | EAT
(°F) | | AUX KW | |
| EX. VAV-01 | TRANE | VCEC-02 | BREAK ROOM | 5 | 4.6 | 95 | 260 | 0.0 | 260 | 55 | 55 | 1.0 | |
| EX. VAV-02 | TRANE | VCEC-04 | CONFERENCE | 6 | 2.5 | 40 | 200 | 0.0 | 200 | 55 | 55 | 1.0 | А |
| EX. VAV-03 | TRANE | VCEC-02 | - | 5 | - | - | - | - | - | - | - | 1.0 | В |
| EX. VAV-04 | TRANE | VCEC-04 | CONFERENCE | 6 | 3.1 | 55 | 160 | 0.6 | 160 | 55 | 58 | 1.5 | A |
| EX. VAV-05 | TRANE | VCCC-02 | NEVER INSTALLED | - | - | - | - | - | - | - | - | - | С |
| EX. VAV-06 | TRANE | VCCC-12 | BOARD ROOM | 10 | 20.7 | 340 | 1080 | 7.3 | 1080 | 55 | 61 | - | |
| EX. VAV-07 | TRANE | VCCC-04 | LOBBY/KITCHEN | 6 | 4.9 | 160 | 260 | 4.2 | 260 | 55 | 70 | - | A |
| EX. VAV-08 | TRANE | VCCC-02 | - | 5 | - | - | - | - | - | - | - | - | В |
| EX. VAV-09 | TRANE | VCCC-04 | - | 6 | - | - | - | - | - | - | - | - | В |
| EX. VAV-10 | TRANE | VCCC-12 | OFFICES | 10 | 6.3 | 250 | 540 | 6.7 | 540 | 55 | 73 | - | A |
| EX. VAV-11 | TRANE | VCCC-02 | OFFICES | 5 | 5.4 | 140 | 290 | 3.7 | 290 | 55 | 67 | - | |
| EX. VAV-12 | TRANE | VCEC-04 | OFFICES | 6 | 8.5 | 175 | 480 | 0.0 | 480 | 55 | 55 | 1.0 | |
| EX. VAV-13 | TRANE | VCCC-08 | CONFERENCE | 8 | 5.5 | 115 | 300 | 3.0 | 300 | 55 | 64 | - | A |
| EX. VAV-14 | TRANE | VCCC-08 | OFFICES | 8 | 5.7 | 140 | 295 | 3.7 | 295 | 55 | 67 | - | |
| EX. VAV-15 | TRANE | VCCC-02 | RESTROOMS | 5 | 2.0 | 150 | 205 | 2.1 | 205 | 55 | 64 | - | |
| EX. VAV-16 | TRANE | VCCC-12 | SECTION 8 LOBBY | 10 | 12.2 | 280 | 680 | 7.4 | 680 | 55 | 65 | - | |
| EX. VAV-17 | TRANE | VCEC-02 | RESTROOMS | 5 | 0.6 | 150 | 180 | 0.0 | 180 | 55 | 55 | 1.0 | A |
| EX. VAV-18 | TRANE | VCCC-02 | OFFICES | 5 | 4.1 | 65 | 245 | 1.7 | 245 | 55 | 61 | - | |
| EX. VAV-19 | TRANE | VCCC-02 | OFFICES | 5 | 3.0 | 115 | 200 | 3.0 | 200 | 55 | 69 | - | |
| EX. VAV-20 | TRANE | VCCC-12 | OFFICES | 10 | 7.6 | 150 | 405 | 3.9 | 405 | 55 | 64 | - | |
| EX. VAV-21 | TRANE | VCCC-02 | OFFICE | 5 | 2.4 | 65 | 125 | 1.7 | 125 | 55 | 68 | - | A |
| EX. VAV-22 | TRANE | VCCC-04 | OFFICES | 6 | 8.1 | 245 | 425 | 6.6 | 425 | 55 | 69 | - | |
| EX. VAV-23 | TRANE | VCCC-04 | RESTROOMS | 6 | 0.4 | 110 | 150 | 0.5 | 150 | 55 | 58 | - | |
| EX. VAV-24 | TRANE | VCEC-04 | BREAK ROOM/STORAGE | 6 | 7.1 | 155 | 450 | 4.1 | 450 | 55 | 63 | 1.5 | |
| EX. VAV-25 | TRANE | VCCC-12 | OFFICES | 10 | 7.0 | 230 | 360 | 6.1 | 360 | 55 | 71 | - | |
| EX. VAV-26 | TRANE | VCCC-08 | OFFICES | 8 | 3.3 | 80 | 175 | 2.1 | 175 | 55 | 66 | - | |
| EX. VAV-27 | TRANE | VCEC-04 | CONFERENCE | 6 | 3.1 | 55 | 160 | 0.6 | 160 | 55 | 58 | 1.5 | |
| EX. VAV-28 | TRANE | VCEC-04 | CONFERENCE | 6 | 2.6 | 40 | 150 | 0.5 | 150 | 55 | 58 | 2.0 | |
| COMMENTS: | | • | | • | • | • | | • | | | • | | |

A. VAV BOX RELOCATED AND REUSED IN NEW WORK PHASE. REFER TO M103 OR M104 FOR NEW LOCATION
B. VAV BOX REMOVED DURING DEMOLITION PHASE AND SHALL NOT BE REUSED. BOX SHALL BE RETURNED TO OWNER.

C. VAV BOX WAS NEVER INSTALLED IN BUILDING.

| | | | | NEW VA | V TER | MIN | AL I | 30) | X SC | CHED | ULE | | | |
|---|----------|---------|-----------------|------------------|-------------------|-------|--------|------|-------|---------|-------------|-------------|--------|----------|
| | | | | | | С | OOLING | 3 | | HE | ATING | } | | |
| | MARK | MFR. | MODEL
NUMBER | AREA SERVED | INLET
DIAMETER | SENS. | MIN. | MAX. | LOAD | HEATING | Al | R | ELEC | COMMENTS |
| | | | NOWBER | | (IN.) | LOAD | CFM | CFM | (MBH) | CFM | EAT
(°F) | LAT
(°F) | AUX KW | |
| ſ | VAV-1-01 | CARRIER | 45.IA3 | HR LOBBY/OFFICES | 12 | 72 | 90 | 460 | 11 | 460 | 55 | 63 | 8.0 | |

| | | | | \ | /ENTILA | TION FA | AN SCHE | EDULE | | | | |
|----|-------|--------------------|-------------|-----------|-----------|---------|----------|--------------|---------|-------|----------|----------|
| N/ | MARK | AREA SERVED | TYPE | MFG | MODEL NO. | CAPACI | TY INFO. | MAX SONES | CONTROL | FAN E | LEC. | COMMENTS |
| IV | VIAIN | AREA SERVED | ITE | IVIFG | MODEL NO. | CFM | TSP | IVIAX SOINES | CONTROL | WATTS | VOLTS | COMMENTS |
| E | F-100 | SECTION 8 RESTROOM | CEILING MTD | GREENHECK | SP-A90 | 75 | 0.25 | 0.4 | SWITCH | 15 | 115/60/1 | - |

| | | | HOO | DD & LO | UVER S | CHEDUL | .E | | | |
|------|---------|-------------|-----------|-----------|--------|--------------|--------------|-----|----------|----------|
| | | | BASS OF | DESIGN | | SIZE | | | | |
| MARK | TYPE | AREA SERVED | MFG. | MODEL NO. | | OVERALL SIZE | | CFM | ΜΑΧ. Δ Ρ | COMMENTS |
| | | | IVII O. | WODEL NO. | WxH | WxH | AREA SQ. FT. | | | |
| L-01 | EXHAUST | RESTROOM | GREENHECK | ESJ-202 | 8x8 | 8x8 | 0.1 | 75 | 0.14 | - |

COMMENTS KEY:

A. BIRD SCREEN B. STEEL

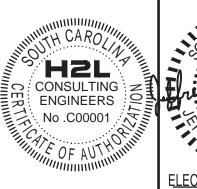
C. BAROMETRIC DAMPER

| | | | | | | Α | HU 8 | FAN CC | IL UNIT | SCHE | DULE | | | | | | | | | |
|------------|--------------------------|--------------|-----------------|--------------------------------------|-------------------------|--|-------|---------------|-----------|----------|----------------------------------|-----|----------|------------|-----|------|-----|---------|---------------|----------|
| | | | · | | SUPPLY FA | N DATA | | | COOLING (| COIL | | | AUX. | HEATING CO | OIL | | | ELECTRI | CAL DATA | |
| MARK | AREA SERVED | MANUFACTURER | MODEL
NUMBER | TOTAL
AIRFLOW
(CFM)
MIN-MAX | OUTSIDE
AIR
(CFM) | EXTERNAL
STATIC
PRESSURE
(In. WC) | HORSE | I COMPLICIONS | | CARACITY | SENS
COOLING
CAP.
(MBH) | QTY | MOTOR HP | KW | MCA | МОСР | MCA | МОСР | VOLTS / PHASE | COMMENTS |
| EX. RTU-01 | MAIN BUILDING VAV SYSTEM | CARRIER | 50AK-030 | 8085-1950 | 1950 | 2.0 | 15 | 81.9/66.6 | 53.3/52.0 | 300.4 | 215.9 | 4 | 1 | 0.75 | 184 | 200 | 160 | 175 | 208/3 | - |
| EX. AHU-02 | 2ND FLOOR VAV RENOVATION | CARRIER | 39ED08 | 2340-660 | 660 | 1.75 | 5 | 83.9/67.5 | 53.3/51.9 | 89.8 | 64.3 | - | - | - | - | - | - | - | 208/3 | - |

| SPLIT SYSTEM HEAT PUMP SCHEDULE | | | | | | | | | | | | | | | | | | | | | | | |
|---------------------------------|--------------------------|--------------|----------------|----------|------------------|------------------------|--------------------------------|--------------|---------|-----------|------------------|-----------|-------|------------------------------|---------|-------------------|----------|----------------------------|--------------------------------------|------------------|----------------------------|--------------------------------------|---------|
| | | BAS | SIS OF DESIGN | | | CAPACITY II | NFORMATION | | | | COOL | LING COIL | L | | | G @ 47°F
BIENT | | NDOOR ELE | CTRICAL | O | UTDOOR ELE | CTRICAL | |
| MARK | AREA SERVED
SEE PLANS | MANUFACTURER | INDOOR
UNIT | OUTDOOR | AIRFLOW
(CFM) | OUTSIDE AIR
MINIMUM | EXTERNAL
STATIC
PRESSURE | FAN
MOTOR | | | LEAVIN
TEMPER | RATURE | | TOTAL
SENSIBLE
COOLING | MINIMUM | | PHASE/ | MINIMUM
CIRCUIT
AMPS | MAXIMUM
OVERCURRENT
PROTECTION | VOLTS/
PHASE/ | MINIMUM
CIRCUIT
AMPS | MAXIMUM
OVERCURRENT
PROTECTION | REMARKS |
| | | | UNIT | UNIT | (Ci ivi) | (CFM) | (ln.) | (HP) | DB (°F) | WB (°F) D | OB (°F) | WB (°F) | (MBH) | (MBH) | (MBH) | (KW) | HERTZ | (MCA) | (MOP) | HERTZ | (MCA) | (MOP) | |
| AH-01/HP-01 | CEO OFFICE | GOODMAN | ARUF37C | GSZ14036 | 775 | 55 | 0.5 | 1/3 | 76.1 | 64.1 | 58.0 | 56.9 | 16.6 | 14.9 | 11.8 | - | 208/1/60 | 25.4 | 30 | 208/1/60 | 20.2 | 35 | - |



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RELEASED FOR PLAN REVIEW AND PRICING 12/17/2020

CHA HARDEN **BLDG REMODEL**

| Ø | RELEASED FOR PLAN REVIEW/PRICING | 12/17/2020 | JSB |
|-----|----------------------------------|------------|-----|
| lo. | REVISION | DATE | Ву |

COLUMBIA HOUSING **AUTHORITY**

1917 HARDEN STREET Columbia, SC 29204

MECHANICAL SCHEDULES

Date: 12/17/2020 Approved By: WBS

JSB Checked By: 20002.01

ASBESTOS CONTAINING MATERIAL

THESE COMMON PROVISIONS APPLY TO ALL PLUMBING WORK COVERED IN THIS CONTRACT.

RESPONSIBLE FOR THEIR ACCURACY AND USE IN CONSTRUCTION OF THE WORK.

- A. PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, MACHINERY, SUPERVISION, MANAGEMENT, AND ALL OTHER ITEMS NECESSARY FOR THE COMPLETE PLUMBING SYSTEM. THE ENTIRE PLUMBING SYSTEMS SHALL BE INSTALLED. STARTED. TESTED. ADJUSTED AND TURNED OVER TO THE OWNER IN PROPER OPERATING CONDITION.
- B. ALL FIXTURES AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. WHERE THIS MAY CONFLICT WITH CODE REQUIREMENTS THE CODES SHALL HAVE PRECEDENCE.
- C. THE CONTRACTOR AND/OR THE APPROPRIATE SUBCONTRACTOR SHALL CONCURRENTLY HOLD ALL REQUIRED LICENSES TO PERFORM THE WORK SHOWN AND SPECIFIED ON THESE DRAWINGS. D. UNDER NO CIRCUMSTANCES IS THE CONTRACTOR TO INSTALL ANY MATERIAL OR EQUIPMENT, FOREIGN OR DOMESTIC, WITH
- DIMENSIONS: DRAWINGS SHOULD BE INTERPRETED AS GENERAL LAYOUT AND ARRANGEMENT DRAWINGS. THE DRAWINGS ARE NOT INTENDED TO SHOW COMPLETE OR PRECISE MEASUREMENTS AND DETAILS OF THE BUILDING AND INSTALLATION IN EVERY RESPECT, AND THEY DO NOT INCLUDE ALL DETAILS OF MANUFACTURED EQUIPMENT, CONSTRUCTION, PIPING, DUCTWORK, ETC. MEASUREMENT FIGURES WRITTEN UPON THE DRAWINGS INDICATING DIMENSIONS SHALL BE USED INSTEAD OF SCALED MEASUREMENT. NO SCALE MEASUREMENT TAKEN FROM A DRAWING SHALL BE RELIED UPON AS A DIMENSION FOR INSTALLATION PURPOSES. EXACT LOCATIONS AND MEASUREMENTS ARE TO BE DEFINED IN THE FIELD, AND THE CONTRACTOR SHALL BE
- 4. INTERFERENCES: THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF ALL OTHER TRADES IN ORDER TO ELIMINATE INTERFERENCES. HE SHALL EXAMINE IN ADVANCE THE LOCATION OF ELECTRICAL SYSTEMS, DUCTS, PIPING, STRUCTURES, CONDUITS, AND OTHER EQUIPMENT AND COMPONENTS TO BE INSTALLED, AND PROPERLY COORDINATE THE INSTALLATION OF MECHANICAL WORK TO AVOID INTERFERENCES. THE ENGINEERS HAVE CONSIDERED EXISTING INTERFERENCES IN MAKING THE DRAWINGS, BUT IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MODIFY, OFFSET, OR OTHERWISE ACCOMMODATE ALL EQUIPMENT TO THE STRUCTURE, UTILITIES AND OTHER EQUIPMENT.
- 5. UTILITIES: THE CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR REGARDING ACCESS TO EXISTING UTILITIES PRIOR TO THE START OF WORK.
- 6. SUBSTITUTIONS:
- A. THE MATERIALS, PRODUCTS, AND EQUIPMENT DESCRIBED IN THE DOCUMENTS ESTABLISH A STANDARD OF REQUIRED FUNCTION, DIMENSION, APPEARANCE, SERVICEABILITY, AVAILABILITY OF SPARE PARTS AND QUALITY TO BE MET BY ANY PROPOSED SUBSTITUTION.
- RECORD DRAWINGS: THE CONTRACTOR SHALL KEEP A RECORD SET OF DRAWINGS ON THE JOB AND SHALL, AS CONSTRUCTION PROGRESSES, RECORD ANY CHANGES WHERE CONSTRUCTION IS DIFFERENT FROM DESIGN DOCUMENTS. AT THE TIME OF FINAL INSPECTION, ONE SET OF RECORD DRAWINGS, IN ADDITION TO ONE SET OF APPROVED SUBMITTAL DOCUMENTS SHALL BE TURNED HZ OVER TO THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST ASSOCIATED WITH THESE DOCUMENTS.
- 8. PIPING: PIPING MATERIALS SHALL BE IN ACCORDANCE WITH THE PIPING & INSULATION SCHEDULE THAT APPEARS ELSEWHERE IN THESE DOCUMENTS.
- A. ALL PIPE SHALL BE ADEQUATELY BRACED AND SUPPORTED. PIPE SUPPORTS SHALL CONFORM TO THE REQUIREMENTS OF MSS SP-58. SUPPORT SPANS SHALL NOT EXCEED THOSE NOTED IN THE PIPE SUPPORT TABLE LOCATED ELSEWHERE IN THESE DOCUMENTS. IN ADDITION TO THE MAXIMUM ALLOWABLE SPACING BETWEEN SUPPORTS, PIPING SHALL BE SUPPORTED AT TERMINATION OF ALL HORIZONTAL RUNS OR BRANCHES, AND AT EACH CHANGE OF DIRECTION. SWAY BRACING SHALL BE PROVIDED AT EACH CHANGE OF DIRECTION FOR PIPE 4-INCHES AND LARGER.
- B. PIPE SHALL BE SEISMICALLY SUPPORTED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE C. ALL MATERIAL USED IN POTABLE WATER SUPPLY SHALL BE LISTED FOR SUCH APPLICATIONS BY THE INTERNATIONAL
- PLUMBING CODE IN FORCE AS OF THE TIME OF ISSUE OF THESE DRAWINGS D. UNDERGROUND STEEL PIPE SHALL HAVE A PROTECTIVE COAL-TAR EPOXY COATING APPLIED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF AWWA SPECIFICATION C203.
- E. STEEL PIPE INSTALLED EXTERIOR TO THE BUILDING ENVELOPE SHALL BE PAINTED WITH TWO COATS OF WEATHER RESISTANT ENAMEL. COLOR TO MATCH BUILDING OR GROUT.
- F. DIELECTRIC UNIONS SHALL BE USED TO JOIN COPPER PIPE TO STEEL PIPE.
- G. SOLDERED/BRAZED POTABLE WATER PIPING SHALL BE JOINED WITH LEAD FREE 95-5 TIN ANTIMONY SOLDER.
- H. THE CONTRACTOR SHALL INSURE THAT ONLY CHEMICALLY COMPATIBLE PRODUCTS COME IN CONTACT WITH CPVC PIPE. ONLY PRODUCTS BEARING THE LUBRIZOL FGG/BM/CZ SYSTEM COMPATIBLE LOGO OR OTHERWISE APPROVED BY THE CPVC PIPE MANUFACTURER SHALL COME IN CONTACT WITH CPVC PIPE.
- OPEN PIPE ENDS SHALL BE COVERED AND PIPING SHALL BE FREE OF DEBRIS DURING CONSTRUCTION. J. UNLESS NOTED OTHERWISE ALL PENETRATIONS OF EXTERIOR WALL, FLOOR, AND ROOF STRUCTURES WITH DUCTWORK, PIPING, OR RELATED COMPONENTS SHALL BE SEALED WEATHER TIGHT WITH APPROPRIATE FLASHING AND/OR SEALING MATERIALS. UNLESS NOTED OTHERWISE, PENETRATIONS OF ROOF STRUCTURES SHALL BE MADE IN ACCORDANCE WITH THE ROOF MANUFACTURERS RECOMMENDATIONS. UNLESS NOTED OTHERWISE PENETRATIONS OF EXTERIOR WALLS SHALL BE
- SEALED WITH ONE PART URETHANE SEALANT INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS; COLOR SHALL BE TO MATCH BUILDING FINISHES. K. ALL PIPE SHALL BE PRESSURE TESTED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE LATEST EDITION OF THE INTERNATIONAL PLUMBING CODE OR INTERNATIONAL FUEL GAS CODE.
- L. PENETRATIONS OF CONCRETE FLOOR SLABS BY METALLIC PIPE SHALL BE PROTECTED WITH BITUMASTIC WRAP OR SLEEVES OF ARMAFLEX INSULATION. PENETRATION OF CONCRETE FLOOR SLABS BY PVC OR CPVC PIPE SHALL BE PROTECTED WITH A SLEEVE OF NOMACO IMCOLOCK INSULATION. PENETRATION OF CONCRETE FLOOR SLABS BY PEX PIPE SHALL BE ROUTED
- M. THE ANNULAR SPACE BETWEEN PIPE AND WALL OR FLOOR PENETRATIONS SHALL BE SEALED. WHERE PIPES PASS THROUGH FIRE OR SMOKE RATED BUILDING COMPONENTS, THE PIPE ANNULUS SHALL BE SEALED WITH A UL RATED FIRE STOPPING WHB MATERIAL. THE MATERIAL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS BASED ON PIPE AND WALL CONSTRUCTION MATERIALS. SEALING MATERIALS SHALL BE CHEMICALLY COMPATIBLE WITH THE PIPE. SUBMIT CHEMICAL COMPATIBILITY FOR FIRE SEALS TO BE USED ON CPCV, PVC, AND PEX PIPE. N. CREWS INSTALLING CPVC PIPE SHALL HAVE BEEN TRAINED BY THE PIPE MANUFACTURER WITHIN THE 24 MONTHS PREVIOUS
- TO STARTING THE PROJECT AND SHALL BE CAPABLE OF PROVIDING DOCUMENTATION OF THE TRAINING UPON REQUEST. O. PIPE AND PIPE FITTINGS MANUFACTURED IN CHINA ARE NOT ACCEPTABLE AND SHALL NOT BE INSTALLED.
- P. PLASTIC PIPE INSTALLED IN WOOD FRAME STRUCTURES SHALL BE PROTECTED WITH NAIL SHIELDS. PEX PIPE SHALL BE PROTECTED FROM METAL STUDS WITH PLASTIC GROMMETS.

9. FIXTURES:

- A. PLUMBING FIXTURES SHALL BE PROVIDED AS SPECIFIED IN THE PLUMBING FIXTURE TABLE THAT APPEARS ELSEWHERE IN THESE DOCUMENTS. ALL PLUMBING FIXTURES SHALL BE NEATLY CAULKED WITH SILICONE OR MILDEW RESISTANT ACRYLIC LATEX CAULKING COMPOUND WHERE THE FIXTURE MEETS THE WALL. FIXTURE LOCATIONS SHOWN ON THE PLUMBING DRAWINGS ARE APPROXIMATE - SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS
- B. WATER FAUCETS SHALL HAVE A LEAD CONTENT LESS THAN 0.2% IN ACCORDANCE WITH EPA REGULATIONS. C. ISOLATION VALVES SHALL BE PROVIDED FOR ALL PLUMBING FIXTURES. CHROME PLATED ANGLE STOP VALVES SHALL BE INSTALLED TO SERVE LAVATORIES AND TANK TYPE TOILETS. CONNECTIONS BETWEEN ANGLE STOP VALVES AND THE FIXTURE OR FAUCET SHALL BE WITH STAINLESS STEEL BRAID CONNECTION HOSES. THE USE OF PEX TUBING CONNECTIONS IS
- D. WATER HEATERS SHALL BE EQUIPPED WITH HEAT TRAPS AND COMPLY WITH THE CURRENT ENERGY EFFICIENCY REQUIREMENTS.
- E. WATER HEATER SHALL BE EQUIPPED WITH ANTI-SIPHON DEVICES.
- F. WATER HEATERS SHALL BE EQUIPPED WITH A RELIEF DEVICE CONFORMING TO ANSI Z21.22. RELIEF VALVE DISCHARGE SHALL TERMINATE IN A SAFE LOCATION IN ACCORDANCE WITH CODE REQUIREMENTS. THE USE OF PVC PIPE FOR RELIEF VALVE DISCHARGE IS NOT ACCEPTABLE.

- A. PLUMBING PIPING SHALL BE IN ACCORDANCE WITH THE PIPING & INSULATION SCHEDULE THAT APPEARS ELSEWHERE IN THESE DOCUMENTS, AND SHALL BE IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
- B. ESCUTCHEON PLATES SHALL BE INSTALLED AT THE PENETRATION OF ALL FINISHED WALLS.
- C. DRAINAGE AND VENT TESTING SHALL BE BY THE WATER TEST OR AIR TEST METHOD AS DEFINED BY CODE. D. WATER SUPPLY SYSTEM TEST SHALL BE BY THE WATER PRESSURE OR AIR PRESSURE METHOD AS DEFINED BY CODE.
- E. FORCED SEWER SYSTEMS AND STORM DRAINAGE SYSTEMS, IF REQUIRED ON THIS PROJECT, SHALL BE TESTED AS DEFINED
- F. THE POTABLE WATER SYSTEM SHALL BE DISINFECTED AND FLUSHED IN ACCORDANCE WITH THE CURRENT INTERNATIONAL PLUMBING CODE, OR CURRENT GOVERNING GOVERNMENT AGENCY, WHICHEVER IS MORE STRINGENT, AND AWWA STANDARDS, PRIOR TO BEING TURNED OVER TO THE OWNER.
- G. PVC PIPE SHALL NOT BE INSTALLED IN ANY AREA USED AS A SUPPLY OR RETURN AIR PLENUM. NO-HUB DUCTILE IRON PIPE SHALL BE USED FOR SANITARY SEWER AND VENT PIPE IN PLENUM AREAS. (SEE PIPE SERVICE TABLE.)
- H. HORIZONTAL SANITARY SEWER PIPING 3" AND LARGER INSTALLED INSIDE THE BUILDING SHALL HAVE A SLOPE OF 1/8" PER LINEAR FOOT OF RUN. PIPE 2-1/2" AND SMALLER SHALL HAVE A MINIMUM SLOPE OF 1/4" PER LINEAR FOOT OF RUN, UNLESS
- SPECIFIED OTHERWISE ON THE DRAWINGS. I. A PURPLE PRIMER CONFORMING TO ASTM F 656 SHALL BE USED TO PRIME PVC FOR SOLVENT.
- INSULATION: PIPE SHALL BE INSULATED IN ACCORDANCE WITH THE PIPING & INSULATION SCHEDULE THAT APPEARS ELSEWHERE ON THESE DOCUMENTS.
- A. INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPMENT RATING OF 50 OR LESS IN ACCORDANCE WITH UL 723. B. PIPE INSULATION SHALL BE EQUAL TO AP ARMAFLEX.
- C. INSULATED PIPE SHALL BE PROTECTED FROM DAMAGE OR COMPRESSION FROM HANGERS AT THE POINT OF SUPPORT USING ARMAFIX PIPE HANGER INSULATION OR HALF SLEEVE SHIELDS EQUAL TO GRINNEL FIG. 167.

- A. GRADE TRENCH BOTTOMS TO PROVIDE A SMOOTH STABLE FOUNDATION, FREE FROM ROCK. THE WIDTH OF THE TRENCH SHALL BE SUFFICIENT TO ALLOW THOROUGH COMPACTING OF THE BACKFILL UNDER AND AROUND THE PIPE. WHERE ROCK IS ENCOUNTERED, THE ROCK SHALL BE REMOVED TO A DEPTH BELOW GRADE OF AT LEAST 6 INCHES (6"), AND THE TRENCH SHALL BE REFILLED TO GRADE WITH EARTH, SAND, GRAVEL, OR OTHER SUITABLE MATERIAL.
- B. AT EACH PIPE JOINT DIG BELL HOLES TO RELIEVE THE BELL OF THE PIPE OF ALL LOADS, AND TO ENSURE CONTINUOUS BEARING OF THE PIPE BARREL ON THE FOUNDATION. THE TRENCH SHALL BE BACKFILLED AROUND THE BARREL OF THE PIPE WITH FINE MATERIALS, FREE, FROM LARGE STONES DEPOSITED IN LEVEL LAYERS NO MORE THAN 6 INCHES (6") IN DEPTH, EACH LAYER TO BE THOROUGHLY TAMPED AND COMPACTED BEFORE THE NEXT LAYER IS DEPOSITED.
- C. INSTALLATION OF UNDERGROUND PVC PIPE SHALL COMPLY WITH ASTM D2321 UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS. THE SPACE BETWEEN THE PIPE AND TRENCH WALL MUST BE WIDER THAN THE COMPACTION EQUIPMENT USED IN THE COMPACTION OF THE BACKFILL. MINIMUM WIDTH SHALL BE NOT LESS THAN 16 INCHES. . PROVIDE A MINIMUM OF 4 INCHES OF BEDDING UNLESS ROCK IS ENCOUNTERED. IN WHICH CASE A MINIMUM OF 6 INCHES OF BEDDING SHALL BE USED. BLOCKING SHALL NOT BE USED TO CHANGE PIPE GRADE OR TO INTERMITTENTLY SUPPORT PIPE OVER LOW SECTIONS IN THE TRENCH. THE MINIMUM DEPTH OF COVER SHALL BE 24"

UNDER TRAFFIC AREAS OR IN ACCORDANCE WITH SECTION 7.6 IN ASTM D 2321 - WHICHEVER IS GREATER.

D. THE PVC PIPE SHALL BE SURROUNDED WITH AN AGGREGATE MATERIAL WHICH IS EASILY WORKED AROUND THE SIDES OF THE PIPE. BACKFILLING SHALL BE PERFORMED IN LAYERS OF 6 INCHES WITH EACH LAYER BEING SUFFICIENTLY COMPACTED TO 85% TO 95% COMPACTION. THE TRENCH SHALL BE COMPLETELY FILLED. THE BACKFILL SHALL BE PLACED AND SPREAD IN UNIFORM LAYERS. LARGE ROCKS, STONES, FROZEN CLODS, OR OTHER LARGE DEBRIS SHALL BE REMOVED. STONE BACKFILL SHALL BE ABLE TO PASS THROUGH AN 1-1/2" SIEVE AND THAT ROCK SIZE SHALL BE ABOUT 1/10TH OF THE PIPE OUTSIDE DIAMETER. HEAVY TAMPERS OR ROLLING EQUIPMENT SHALL ONLY BE USED TO CONSOLIDATE ONLY THE FINAL BACKFILL.

PLUMBING ABBREVIATIONS

LAV

TYPICAL

PHASE

ROOM

PREVENTER

REGULATOR

SANITARY

CLOSET)

HOSE BIBB

WATER METER

SQUARE FEET

STAINLESS STEEL

TEMPERATURE

WATER HEATER

PRESSURE REDUCING VALVE

REDUCED PREESURE ZONE BACKFLOW

POUND PER SQUARE INCH

REVOLUTIONS PER MINUTE

STORM DRAIN OR STORM WATER

TANKLESS WATER HEATER TYP

UGS UNDERGROUND SANITARY

URINAL (HUR HANDICAP URINAL)

WATER HAMMER ARESTER

WATER CLOSET (ADA HANDICAP WATER

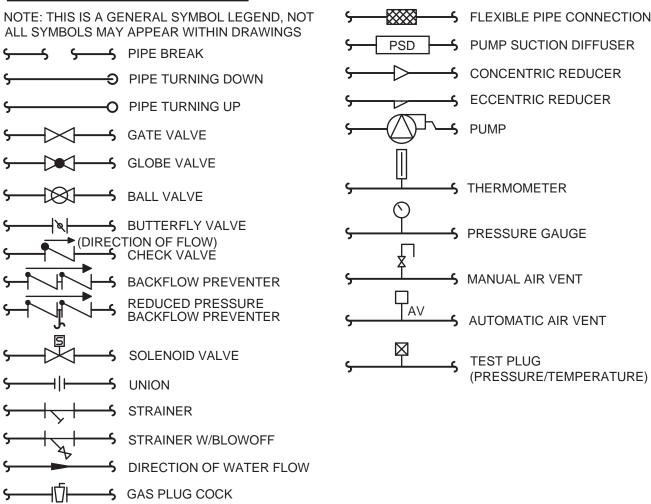
ABBREVIATION SERVICE / ITEM ACCESS DOOR AMERICAN SOCIETY OF MECHANICAL **ENGINEERS** AIR HANDLING UNIT BACKFLOW PREVENTER **BELOW GRADE** BRONZE CONDENSATE CAST IRON CEILING **CLEAN OUT** CLEAN OUT (EXISTING) DOMESTIC COLD WATER DRAIN DOUBLE CHECK VALVE / BACKFLOW **ASSEMBLY** DOWN DRAWING ELECTRIC. / ELECTRICAL **ELEVATION OR ELEVATOR EXPANSION TANK** ELECTRIC WATER HEATER **FAHRENHEIT** FLOOR DRAIN FOOT OR FEET FLOOR SINK GALLON **GALLONS PER HOUR GAS METER GALLONS PER MINUTE** HORSE POWER DOMESTIC HOT WATER (120°F) HW(140) DOMESTIC HOT WATER (140°F) HFRT7 LAVATORY (ADA HANDICAP LAVATORY) MANUFACTURER MINIMUM MAXIMUM **MECHANICAL** MECHANICAL EQUIPMENT ROOM MOP SERVICE BASIN NICKEL BRONZE NORMALLY CLOSED NORMALLY OPENED NOT TO SCALE

PIPE SIZES DCW, DHW, **INDIVIDUAL** CONNECTION DISTRIBUTION TRAP OR **TAG TYPE VENT** LINE SIZE **SEWER SIZE** (SERVICE IS DCW (SERVICE IS DCW SIZE U.N.O.) U.N.O.) WALL MOUNTED VALVE TOILET TOP INLET SPUD **BACK DISCHARGE** WALL MOUNTED VALVE TOILET TOP INLET SPUD 1 1/2" BACK DISCHARGE (ADA) LEFT HAND FLUSH WALL MOUNTED VALVE TOILET TOP INLET SPUD BACK DISCHARGE (ADA) RIGHT HAND FLUSH WALL HUNG 1 1/4" 3/8" DCW & DHW 1/2" DCW & DHW 1 1/2" (ADA) SINGLE COMPARTMENT 1/2" DCW & DHW S-2 3/8" DCW & DHW 1 1/2" UNDER COUNTER STAINLESS STEEL LAVATORY 1/2" DCW & DHW 3/8" DCW & DHW 1 1/2" 1 1/4" **UNDER-MOUNT** WF-1 DUAL LEVEL WATER COOLER 1/2" DCW 1/2" DCW 1 1/2" 1 1/4" IMB 1/4" DCW 1/4" DCW N/A N/A ICE MAKER BOX CO-2 FLOOR CLEANOUT N/A N/A SEE DWG. WALL CLEANOUT N/A SEE DWG. N/A YCO-1 YARD CLEANOUT N/A SEE DWG. N/A FD-2 N/A FLOOR DRAIN N/A TRAP PRIMER VALVE 1/2" DCW 1/2" DCW N/A" WHA-2 | WATER HAMMER ARRESTOR 1/2" CW N/A N/A N/A WHP-1 HW CIRCULATING PUMP 1/2" DHWR 1/2" DHWR SEPARATE WALL CUT-OFF VALVES AT EACH FIXTURE

REMARKS TREOUS CHINA TOILET, ELONGATED RIM, FULLY GLAZED TRAPWAY, 1.6 GPF WATER CLOSET, KOHLER "ANGLESEY" MODEL K-4325 OR EQUAL, SLOAN ROYAL MODEL G2-8111 ELECTRONIC SENSOR OPERATED FLUSH VALVE OR EQUAL, WITH OPEN FRONT SOLID PLASTIC ELONGATED ANTI-MICROBIAL SEAT AND COVER CHURCH MODEL 7650T OR EQUAL. SEAT HEIGHT OF 15". LEFT HAND FLUSH. WATTS ISCA-101. OR EQUAL STYLE CARRIER ITREOUS CHINA TOILET. ELONGATED RIM. FULLY GLAZED TRAPWAY. 1.6 GPF WATER CLOSET. KOHLER "ANGLESEY" MODEL K-4352-O OR EQUAL. SLOAN OYAL MODEL G2-8111 ELECTRONIC SENSOR OPERATED FLUSH VALVE OR EQUAL, WITH OPEN FRONT SOLID PLASTIC ELONGATED ANTI-MICROBIAL SEAT AND COVER CHURCH MODEL 7650T OR EQUAL. SEAT HEIGHT OF 17" TO MEET ADA REQUIREMENTS, LEFT HAND FLUSH. WATTS ISCA-101, OR EQUAL ITREOUS CHINA TOILET. ELONGATED RIM. FULLY GLAZED TRAPWAY. 1.6 GPF WATER CLOSET. KOHLER "ANGLESEY" MODEL K-4352-O OR EQUAL. SLOAN OYAL MODEL G2-8111 ELECTRONIC SENSOR OPERATED FLUSH VALVE OR EQUAL, WITH OPEN FRONT SOLID PLASTIC ELONGATED ANTI-MICROBIAL SEAT AND COVER CHURCH MODEL 7650T OR EQUAL. SEAT HEIGHT OF 17" TO MEET ADA REQUIREMENTS, RIGHT HAND FLUSH. WATTS ISCA-101, OR EQUAL STYLE CARRIER. ITREOUS CHINA 22"x18" WALL HUNG LAVATORY WITH 6.5" DEEP BOWL, KOHLER PINOIR K-2035-4-0 OR EQUAL, 3-HOLE 4" ON CENTER, FRONT OVERFLOW N/1 1/4" CAST BRASS CHROME PLATED FITTINGS. CHROME PLATED GRID DRAIN, CHROME PLATED BRASS CW & HW ANGLE STOP VALVES; STAINLESS BRAIDED HOSE FAUCET CONNECTORS. CONCEALED ARM CARRIER. AUCET SHALL BE CROME PLATED BRASS GOOSENECK, SENSOR ACTIVATED WITH 4" ADAPTER PLATE OR SINGLE HOLE SINK INSTALLATION HARDWIRED I20V WITH TRANSFORMER. ADA COMPLIANT, ADJUSTABLE INFRARED SENSOR RANGE, FILTERED SOLENOID VALVE WITH SERVICEABLE STRAINER FILTEF LOAN MODEL EBF-615 OR EQUAL 8"X18"X9" DEEP 16GA. STAINLESS STEEL UNDERCOUNTER SINGLE COMPARTMENT SINK, KOHLER K-5287 OR EQUAL SS DRAIN WITH REMOVABLE STRAINERS. CW & HW ANGLE STOP VALVES; FAUCET SHALL HAVE HIGH ARC, CHROME PLATED SINGLE LEVER FAUCET " NITH PULLDOWN SPRAY, MOEN "SLEEK" 7864 OR EQUAL, 1.5 GPM. ITREOUS CHINA 20"x16" UNDERMOUNT SINK WITH 6.5" DEEP BOWL, KOHLER "CAXTON" K-2210 OR EQUAL, FRONT OVERFLOW, W/1 1/4" CAST BRASS CHROME PLATED FITTINGS, CHROME PLATED GRID DRAIN FAUCET SHALL BE CHROME PLATED BRASS, SENSOR ACTIVATED WITH 4" ADAPTER PLATE OR SINGLE HOLE SINK INSTALLATION HARDWIRED 120V WITH RANSFORMER. ADA COMPLIANT, ADJUSTABLE INFRARED SENSOR RANGE, FILTERED SOLENOID VALVE WITH SERVICEABLE STRAINER FILTER. WITH MATCHING SOAP DISPENSER. SLOAN MODEL ESD-601 OR EQUAL. ADA COMPLIANT 8 GPH, DUAL HEIGHT LEAD FREE WATER COOLER HANDSFREE WITH WATER BOTTLE FILLER, FLEXIBLE ANTI MICROBIAL SAFETY BUBBLER, 115/1/60 4.0 MAX FLA. EQUAL TO ELKAY EZOTL8WSLK. VATER OUTLET BOX, 1/4 TURN LEAD FREE VALVE WITH 3/8" COMPRESSED TUBE CONNECTIONS. SOUIX CHIEF "OX-BOX" MODEL 696-G1001 OR EQUAL **ISTALL 12" AFF** OATED CAST IRON FLOOR CLEANOUT WITH ABS CLEANOUT PLUG, ADJSUTABLE CAST IRON HOUSING, WITH MEDIUM DUTY SECURED NIKALOY TOP. QUARE OR ROUND TOP SHALL BE SELECTED TO MATCH FLOOR FINISH. EQUAL TO JOSAM SERIES 55000 CAST IRON CLEANOUT TEE WITH BRASS THREADED FITTING PLUG TAPPED FOR CENTER SCREW JOSAM SERIES 58910 WITH SERIES 58600 COVER PLATE OATED CAST IRON FLOOR CLEANOUT WITH CAST IRON TOP, FLANGED CAST IRON HOUSING, ROUND TOP. MOUNT IN 12" SQUARE 6" THICK POURED ONCRETE LEVEL TO GRADE. EQUAL TO JOSAM SERIES 58460A OATED CAST IRON FLOOR DRAIN WITH ADJUSTABLE NICKLE-BRONZE STRAINER, FLASHING COLLAR, WEEP HOLES, & TRAP PRIMER CONNECTION. JOSAN IODEL 30000-A OR EQUAL PP MDL. PR-500 OR EQUAL APRESSURE DROP ACTIVATED TRAP PRIMER VALVE FOR FLOOR DRAINS. FURNISH AND INSTALL 1/4" COPPER TUBING FROM RIMER TO FLOOR DRAIN. PRIMER TO BE INSTALLED AS TO ALLOW MAINTENANCE ACCESS ABOVE CEILING. NATER HAMMER ARRESTORS SHALL BE SIOUX CHIEF HYDRARESTER 652-A OR EQUAL ARIABLE SPEED HOT WATER CIRCULATION PUMP WITH TEMP SENSORS. BRONZE CONSTRUCTION, INTEGRAL CHECK VALVE 1.5 GPM AT 4 FT HEAD EQUAL TO TACO 003 IFC 115V @ .45 AMPS ALL WATER SUPPLY LINES TO LAVATORIES, SINKS AND TANK TYPE WATER CLOSETS SHALL BE PROVIDED WITH INSTALL FIXTURE AND ACCESSORIES IN ACCORDANCE WITH ALL APPLICABLE CODES AND MANUFACTURER'S RECOMMENDATIONS. CODE SHALL GOVERN F DIFFERENT FROM MANUFACTURER'S INSTRUCTIONS.

FIXTURE SCHEDULE

PLUMBING LEGEND



PIPING & INSULATION SCHEDULE

COLD POTABLE WATER 20-100 COPPER - ASTM B88 TYPE L OR K HARD DRAWN COPPER TUBING WITH WROT COPPER SOLDER TYPE FITTINGS

CONTRACTOR'S OPTION 1: (UNEXPOSED AREAS ONLY)

CONTRACTOR'S OPTION 1:(UNEXPOSED AREAS ONLY)

FOR SOLVENT.

PIPE DESCRIPTION

ASSEMBLED WITH LEAD-FREE SOLDER. FLUSH AND CLEAN IN ACCORDANCE WITH AWWA RECOMMENDATIONS.

PEX - ASTM F877 CROSS LINKED, PER 5306, SDR 9 TUBING WITH ASTM F 1807 BRASS OR COPPER FITTINGS AND

COPPER CRIMP RINGS OR COLD EXPANSION FITTINGS WITH ASTM F1960PEX REINFORCING RING. BLUE COLOR

PEX TUBING SHALL HAVE A 50 YEAR LIFE FOR CHLORINE EXPOSURE PER ASTM F876. PEX TUBING INSTALLED

COPPER - ASTM B88 TYPE L OR K HARD DRAWN COPPER TUBING WITH WROT COPPER SOLDER TYPE FITTINGS

ASSEMBLED WITH LEAD-FREE SOLDER. FLUSH AND CLEAN IN ACCORDANCE WITH AWWA RECOMMENDATIONS.

PEX - ASTM F877 CROSS LINKED, PER 5306, SDR 9 TUBING WITH ASTM F 1807 BRASS OR COPPER FITTINGS AND

COPPER CRIMP RINGS OR COLD EXPANSION FITTINGS WITH ASTM F1960PEX REINFORCING RING. RED COLOR. PEX

TUBING SHALL HAVE A 50 YEAR LIFE FOR CHLORINE EXPOSURE PER ASTM F876. PEX TUBING INSTALLED UNDER A

PVC - ASTM D2665 PVC DWV SOLVENT WELD PIPE AND FITTINGS WITH ASTM D2466 SOCKET TYPE CONNECTIONS.

TYPE CONNECTIONS. PURPLE PRIMER CONFORMING CONFORMING TO ASTM F 665 SHALL BE USED TO PRIME PVC

PURPLE PRIMER CONFORMING CONFORMING TO ASTM F 665 SHALL BE USED TO PRIME PVC FOR SOLVENT.

PVC - ASTM D2665 PVC DWV SCH 40 SOLVENT WELD PRESSURE PIPE AND FITTINGS WITH ASTM D2466 SOCKET

UNDER A FLOOR SLAB SHALL BE A SINGLE CONTINUOUS TUBING SECTION WITH NO FITTINGS OR JOINTS.

FLOOR SLAB SHALL BE A SINGLE CONTINUOUS TUBING SECTION WITH NO FITTINGS OR JOINTS.

S GAS PLUG COCK

──\Û**├───\$** GAS PRESSURE REGULATOR PRESSURE RELIEF VALVE

DOMESTIC COLD WATER, COLD WATER DHW — S DOMESTIC HOT WATER, HOT WATER

DHWR DOMESTIC HOW WATER RETURN, HOT WATER RETURN

DESCRIPTION

50-70°F

DOMESTIC HOT WATER

20-100 PSIG

20-140°F

VENT FOR SS

0 PSIG

70°F

SANITARY SEWER,

STORM DRAIN

SD STORM DRAIN SD STORM DRAIN, BELOW GRADE

SAN SANITARY SEWER SAN SANITARY SEWER, BELOW GRADE

SERVICE

DESIGNATION

CW

HW, HW(140),

SS,SD

PLUMBING SYMBOLS NOTE: THIS IS A GENERAL LEGEND, NOT ALL

SYMBOLS MAY APPEAR WITHIN DRAWINGS

POINT OF CONNECTION **NEW TO EXISTING** PLAN NOTE

| EXISTING | FIXTURE | SCHEDULE | E |
|-----------------|------------|-------------------------|-----------|
| | Р | IPE SIZES | |
| | DCW, DHW, | INDIVIDUAL DISTRIBUTION | MIN |
| TYPE | CONNECTION | DISTRIBUTION | TRA
OR |

| TAG | TYPE | CONNECTION
SIZE
(SERVICE IS DCW
U.N.O.) | DISTRIBUTION
LINE SIZE
(SERVICE IS DCW
U.N.O.) | TRAP
OR
SEWER
SIZE |
|------------|------------------|--|---|-----------------------------|
| P-1 | WATER CLOSET | 1" | 1" | 4" |
| <u>P-2</u> | URINAL | 1" | 1" | 2" |
| <u>P-3</u> | LAVITORY | 3/8" DCW & DHW | 1/2" DCW & DHW | 1 1/4" |
| P-4 | WATER COOLER | 3/8" DCW & DHW | 1/2" DCW & DHW | 1 1/4" |
| P-5 | MOP RECEPTOR | 3/8" DCW & DHW | 1/2" DCW & DHW | 3" |
| P-6 | WORK ROOM SINK | 3/8" DCW & DHW | 1/2" DCW & DHW | 1 1/2" |
| P-7 | MOP RECEPTOR | 3/8" DCW & DHW | 1/2" DCW & DHW | 3" |
| P-8 | KITCHENETTE SINK | 3/8" DCW & DHW | 1/2" DCW & DHW | 1 1/2" |
| P-9 | LAVITORY | 3/8" DCW & DHW | 1/2" DCW & DHW | 1 1/4" |
| P-10 | REFRIGERATOR | 1/2" | 1/2" | N/A" |
| | | | | |

FIXTURES INDICATED ARE FROM ORIGINAL PLANS. FIXTURES MAY HAVE BEEN REPLACED, RELOCATED OR REMOVED.

PLUMBING PIPE SUPPORT TABLE

| PIPING MATERIAL | MAX.
HORIZ.
SPACING
(FT) | MAX.
VERT.
SPACING
(FT) |
|---|-----------------------------------|----------------------------------|
| STEEL, SCHEDULE 10 & GREATER | 12 | 15 |
| COPPER AND BRASS PIPE | 10 | 10 |
| COPPER AND COPPER-ALLOY TUBING | | |
| 1 1/4" & < | 6 | 10 |
| 1 1/2" & > | 10 | 10 |
| CPVC PIPE | | |
| 1" & < | 3 | 10 |
| 1 1/4" & > | 4 | 10 |
| PEX TUBING & POLYPROPYLENE PIPE 1" AND SMALLER (NOTE 4) | 32
INCHES | 10 |
| PVC (*), ABS | 4 | 10 |
| CAST AND DUCTILE IRON | 5(**) | 15 |

- (*) SPACING AT 80°F. SEE MANUFACTURER'S REQUIREMENTS IF TEMPERATURES ARE ABOVE 80°F.
- (**) HANGER IS WITHIN 18" OF EACH JOINT WITH MAXIMUM HANGER SPACING NOT TO EXCEED 5' ON 5' LENGTHS AND 10' ON 10' LENGTHS OF PIPE.
- NOTES: 1. PIPES 4" AND LARGER SHALL BE RESTRAINED AT ALL CHANGES IN
- DIRECTION. 2. ADDITIONAL SUPPORT SHALL BE PROVIDED AT INLET AND OUTLET OF VALVES, FILTERS, METERS, OR SIMILAR DEVICES. WHICH IMPOSE ADDITIONAL WEIGHT ON THE PIPE.
- BASED ON 2018 INTERNATIONAL MECHANICAL CODE. 4. AS AN ALTERNATE PIPE MAY BE SUPPORTED CONTINUOUSLY USING

NOTE:

P401 PLUMBING RISERS AND DETAILS

INSULATION

1/2" ARMAFLEX

1/2" ARMAFLEX

P001

P102

P103

UPONOR PEX-a PIPE SUPPORT OR EQUAL

THIS PROJECT IS TO BE CONSTRUCTED IN PHASES. SEE ARCHITECTURAL DRAWINGS FOR DETAILS ON THE PHASED CONSTRUCTION

| PLUMBING DRAWING LIST |
|---------------------------------------|
| PLUMBING LEGEND AND SPECIFICATIONS |
| PLUMBING FIRST FLOOR DEMOLITION PLAN |
| PLUMBING SECOND FLOOR DEMOLITION PLAN |
| PLUMBING FIRST FLOOR PLAN |
| PLUMBING SECOND FLOOR PLAN |
| |

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RELEASED FOR PLAN 12/17/2020

CHA HARDEN **BLDG REMODEL**

| Ø | RELEASED FOR PLAN REVIEW/PRICING | 12/17/2020 | JSB |
|----|----------------------------------|------------|-----|
| Ю. | REVISION | DATE | Ву |
| | | | |

COLUMBIA HOUSING **AUTHORITY**

1917 HARDEN STREET Columbia, SC 29204

PLUMBING LEGEND, SCHEDULES AND SPECIFICATIONS

12/17/2020 Approved By: WBS

LC Checked By:

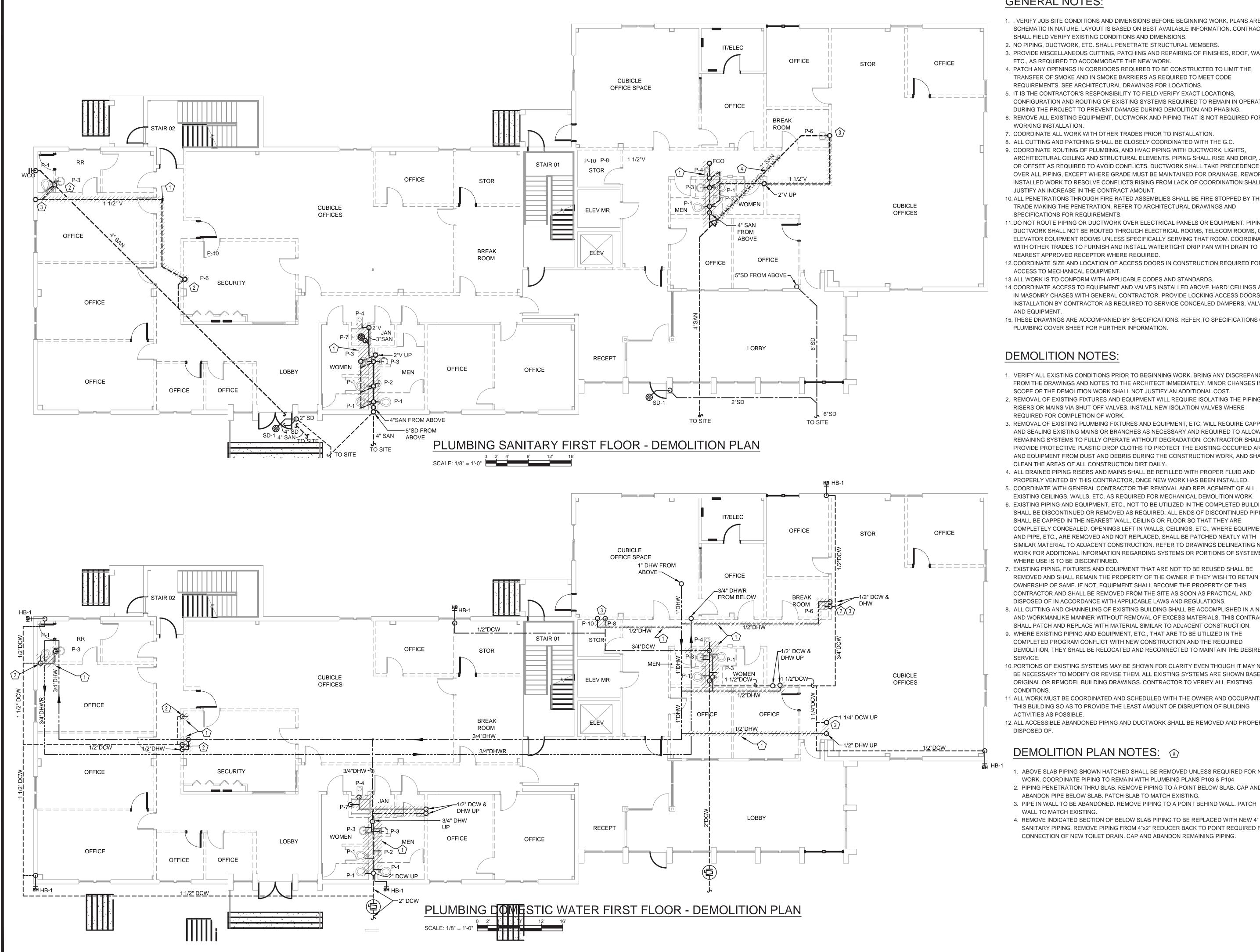
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Project No:

P104



- 1. . VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- 2. NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS.
- 3. PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS,
- ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- 4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS. CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING.
- 6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A WORKING INSTALLATION.
- 7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- 8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
- COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG
- OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS RISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT. 10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE
- 11.DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH OTHER TRADES TO FURNISH AND INSTALL WATERTIGHT DRIP PAN WITH DRAIN TO
- 12. COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR
- 13. ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS.
- 14. COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES WITH GENERAL CONTRACTOR. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION BY CONTRACTOR AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES
- 15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON PLUMBING COVER SHEET FOR FURTHER INFORMATION.

DEMOLITION NOTES:

- 1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST
- 2. REMOVAL OF EXISTING FIXTURES AND EQUIPMENT WILL REQUIRE ISOLATING THE PIPING RISERS OR MAINS VIA SHUT-OFF VALVES. INSTALL NEW ISOLATION VALVES WHERE REQUIRED FOR COMPLETION OF WORK.
- 3. REMOVAL OF EXISTING PLUMBING FIXTURES AND EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY.
- 4. ALL DRAINED PIPING RISERS AND MAINS SHALL BE REFILLED WITH PROPER FLUID AND
- PROPERLY VENTED BY THIS CONTRACTOR, ONCE NEW WORK HAS BEEN INSTALLED. 5. COORDINATE WITH GENERAL CONTRACTOR THE REMOVAL AND REPLACEMENT OF ALL
- EXISTING CEILINGS, WALLS, ETC. AS REQUIRED FOR MECHANICAL DEMOLITION WORK.
- 6. EXISTING PIPING AND EQUIPMENT, ETC., NOT TO BE UTILIZED IN THE COMPLETED BUILDING SHALL BE DISCONTINUED OR REMOVED AS REQUIRED. ALL ENDS OF DISCONTINUED PIPING SHALL BE CAPPED IN THE NEAREST WALL, CEILING OR FLOOR SO THAT THEY ARE COMPLETELY CONCEALED. OPENINGS LEFT IN WALLS, CEILINGS, ETC., WHERE EQUIPMENT AND PIPE, ETC., ARE REMOVED AND NOT REPLACED, SHALL BE PATCHED NEATLY WITH SIMILAR MATERIAL TO ADJACENT CONSTRUCTION. REFER TO DRAWINGS DELINEATING NEW WORK FOR ADDITIONAL INFORMATION REGARDING SYSTEMS OR PORTIONS OF SYSTEMS
- 7. EXISTING PIPING, FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME, IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND
- 8. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
- 9. WHERE EXISTING PIPING AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED
- 10. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODEL BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING
- 11. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING
- 12. ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY

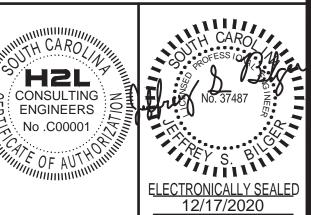
DEMOLITION PLAN NOTES: (#)

- 1. ABOVE SLAB PIPING SHOWN HATCHED SHALL BE REMOVED UNLESS REQUIRED FOR NEW
- 2. PIPING PENETRATION THRU SLAB. REMOVE PIPING TO A POINT BELOW SLAB. CAP AND
- ABANDON PIPE BELOW SLAB. PATCH SLAB TO MATCH EXISTING. 3. PIPE IN WALL TO BE ABANDONED. REMOVE PIPING TO A POINT BEHIND WALL. PATCH
- WALL TO MATCH EXISTING.
- 4. REMOVE INDICATED SECTION OF BELOW SLAB PIPING TO BE REPLACED WITH NEW 4" SANITARY PIPING. REMOVE PIPING FROM 4"x2" REDUCER BACK TO POINT REQUIRED FOR CONNECTION OF NEW TOILET DRAIN. CAP AND ABANDON REMAINING PIPING.

CONSULTING ENGINEERS

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COLUMBIA HOUSING **AUTHORITY**

> 1917 HARDEN STREET Columbia, SC 29204

PLUMBING FIRST FLOOR

DEMOLITION PLAN

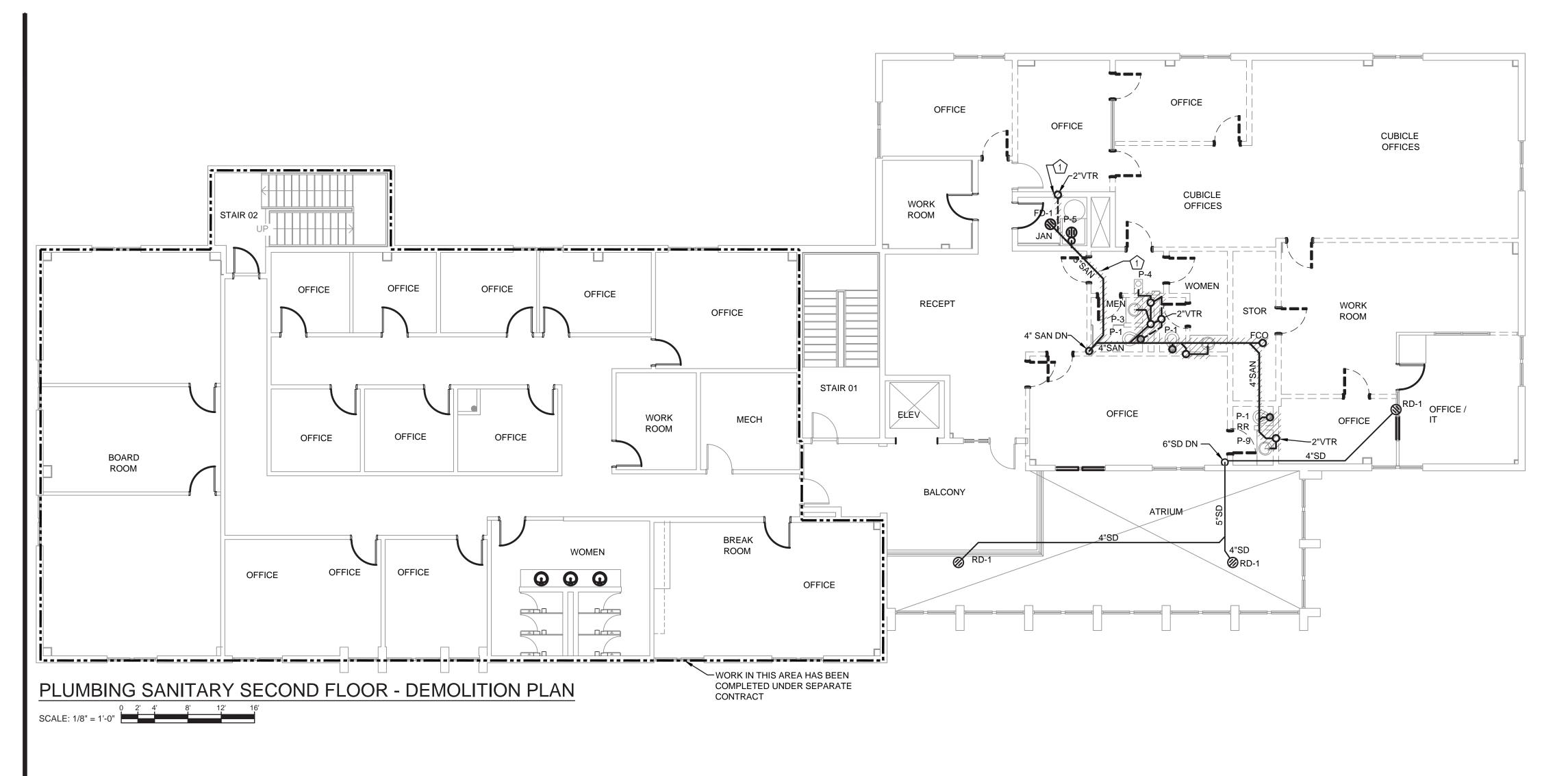
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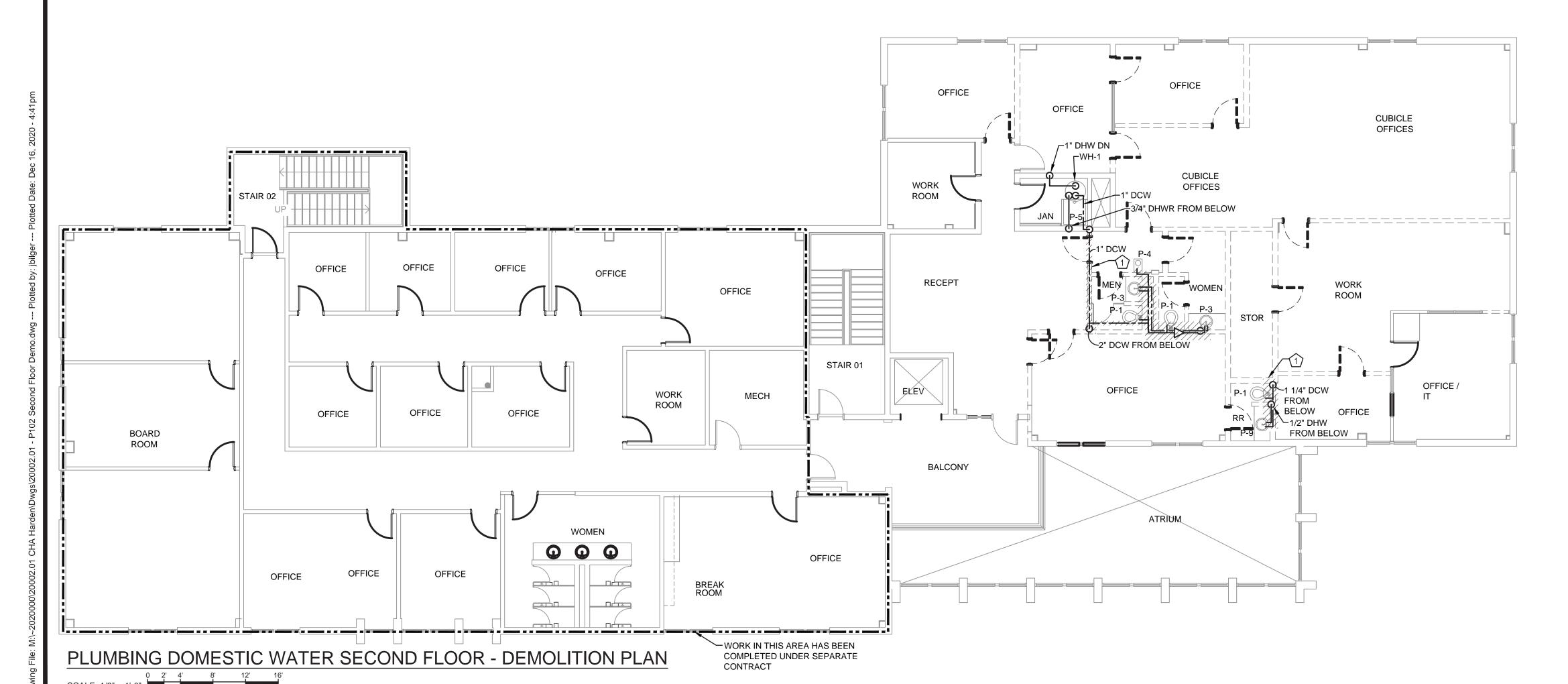
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Project No:

20002.01

P101





- 1. . VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- 2. NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS.
- 3. PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS, ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- 4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE
- REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS. 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS.
- CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATION DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING. 6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A
- WORKING INSTALLATION.
- 7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- 8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
- 9. COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS RISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
- 10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
- 11.DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING OR DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH OTHER TRADES TO FURNISH AND INSTALL WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED
- 12. COORDINATE SIZE AND LOCATION OF ACCESS DOORS IN CONSTRUCTION REQUIRED FOR ACCESS TO MECHANICAL EQUIPMENT.
- 13. ALL WORK IS TO CONFORM WITH APPLICABLE CODES AND STANDARDS.
- 14. COORDINATE ACCESS TO EQUIPMENT AND VALVES INSTALLED ABOVE 'HARD' CEILINGS AND IN MASONRY CHASES WITH GENERAL CONTRACTOR. PROVIDE LOCKING ACCESS DOORS FOR INSTALLATION BY CONTRACTOR AS REQUIRED TO SERVICE CONCEALED DAMPERS, VALVES AND EQUIPMENT.
- 15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON PLUMBING COVER SHEET FOR FURTHER INFORMATION.

DEMOLITION NOTES:

- 1. VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. BRING ANY DISCREPANCIES FROM THE DRAWINGS AND NOTES TO THE ARCHITECT IMMEDIATELY. MINOR CHANGES IN THE SCOPE OF THE DEMOLITION WORK SHALL NOT JUSTIFY AN ADDITIONAL COST.
- 2. REMOVAL OF EXISTING FIXTURES AND EQUIPMENT WILL REQUIRE ISOLATING THE PIPING RISERS OR MAINS VIA SHUT-OFF VALVES. INSTALL NEW ISOLATION VALVES WHERE REQUIRED FOR COMPLETION OF WORK.
- 3. REMOVAL OF EXISTING PLUMBING FIXTURES AND EQUIPMENT, ETC. WILL REQUIRE CAPPING AND SEALING EXISTING MAINS OR BRANCHES AS NECESSARY AND REQUIRED TO ALLOW THE REMAINING SYSTEMS TO FULLY OPERATE WITHOUT DEGRADATION. CONTRACTOR SHALL PROVIDE PROTECTIVE PLASTIC DROP CLOTHS TO PROTECT THE EXISTING OCCUPIED AREAS AND EQUIPMENT FROM DUST AND DEBRIS DURING THE CONSTRUCTION WORK, AND SHALL CLEAN THE AREAS OF ALL CONSTRUCTION DIRT DAILY.
- 4. ALL DRAINED PIPING RISERS AND MAINS SHALL BE REFILLED WITH PROPER FLUID AND
- PROPERLY VENTED BY THIS CONTRACTOR, ONCE NEW WORK HAS BEEN INSTALLED.
- 5. COORDINATE WITH GENERAL CONTRACTOR THE REMOVAL AND REPLACEMENT OF ALL EXISTING CEILINGS, WALLS, ETC. AS REQUIRED FOR MECHANICAL DEMOLITION WORK.
- 6. EXISTING PIPING AND EQUIPMENT, ETC., NOT TO BE UTILIZED IN THE COMPLETED BUILDING SHALL BE DISCONTINUED OR REMOVED AS REQUIRED. ALL ENDS OF DISCONTINUED PIPING SHALL BE CAPPED IN THE NEAREST WALL, CEILING OR FLOOR SO THAT THEY ARE COMPLETELY CONCEALED. OPENINGS LEFT IN WALLS, CEILINGS, ETC., WHERE EQUIPMENT AND PIPE, ETC., ARE REMOVED AND NOT REPLACED, SHALL BE PATCHED NEATLY WITH SIMILAR MATERIAL TO ADJACENT CONSTRUCTION. REFER TO DRAWINGS DELINEATING NEW WORK FOR ADDITIONAL INFORMATION REGARDING SYSTEMS OR PORTIONS OF SYSTEMS WHERE USE IS TO BE DISCONTINUED.
- 7. EXISTING PIPING, FIXTURES AND EQUIPMENT THAT ARE NOT TO BE REUSED SHALL BE REMOVED AND SHALL REMAIN THE PROPERTY OF THE OWNER IF THEY WISH TO RETAIN OWNERSHIP OF SAME. IF NOT, EQUIPMENT SHALL BECOME THE PROPERTY OF THIS CONTRACTOR AND SHALL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS.
- 8. ALL CUTTING AND CHANNELING OF EXISTING BUILDING SHALL BE ACCOMPLISHED IN A NEAT AND WORKMANLIKE MANNER WITHOUT REMOVAL OF EXCESS MATERIALS. THIS CONTRACTOR SHALL PATCH AND REPLACE WITH MATERIAL SIMILAR TO ADJACENT CONSTRUCTION.
- 9. WHERE EXISTING PIPING AND EQUIPMENT, ETC., THAT ARE TO BE UTILIZED IN THE COMPLETED PROGRAM CONFLICT WITH NEW CONSTRUCTION AND THE REQUIRED DEMOLITION, THEY SHALL BE RELOCATED AND RECONNECTED TO MAINTAIN THE DESIRED SERVICE.
- 10. PORTIONS OF EXISTING SYSTEMS MAY BE SHOWN FOR CLARITY EVEN THOUGH IT MAY NOT BE NECESSARY TO MODIFY OR REVISE THEM. ALL EXISTING SYSTEMS ARE SHOWN BASED ON ORIGINAL OR REMODEL BUILDING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING
- 11. ALL WORK MUST BE COORDINATED AND SCHEDULED WITH THE OWNER AND OCCUPANTS OF THIS BUILDING SO AS TO PROVIDE THE LEAST AMOUNT OF DISRUPTION OF BUILDING ACTIVITIES AS POSSIBLE.
- 12. ALL ACCESSIBLE ABANDONED PIPING AND DUCTWORK SHALL BE REMOVED AND PROPERLY

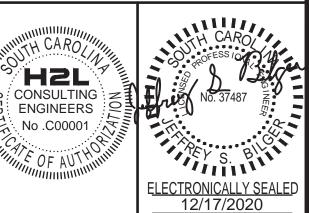
DEMOLITION PLAN NOTES: **(#)**

1. ABOVE SLAB PIPING SHOWN HATCHED SHALL BE REMOVED UNLESS REQUIRED FOR NEW WORK. COORDINATE PIPING TO REMAIN WITH PLUMBING PLANS P103 & P104



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COLUMBIA HOUSING **AUTHORITY**

1917 HARDEN STREET Columbia, SC 29204

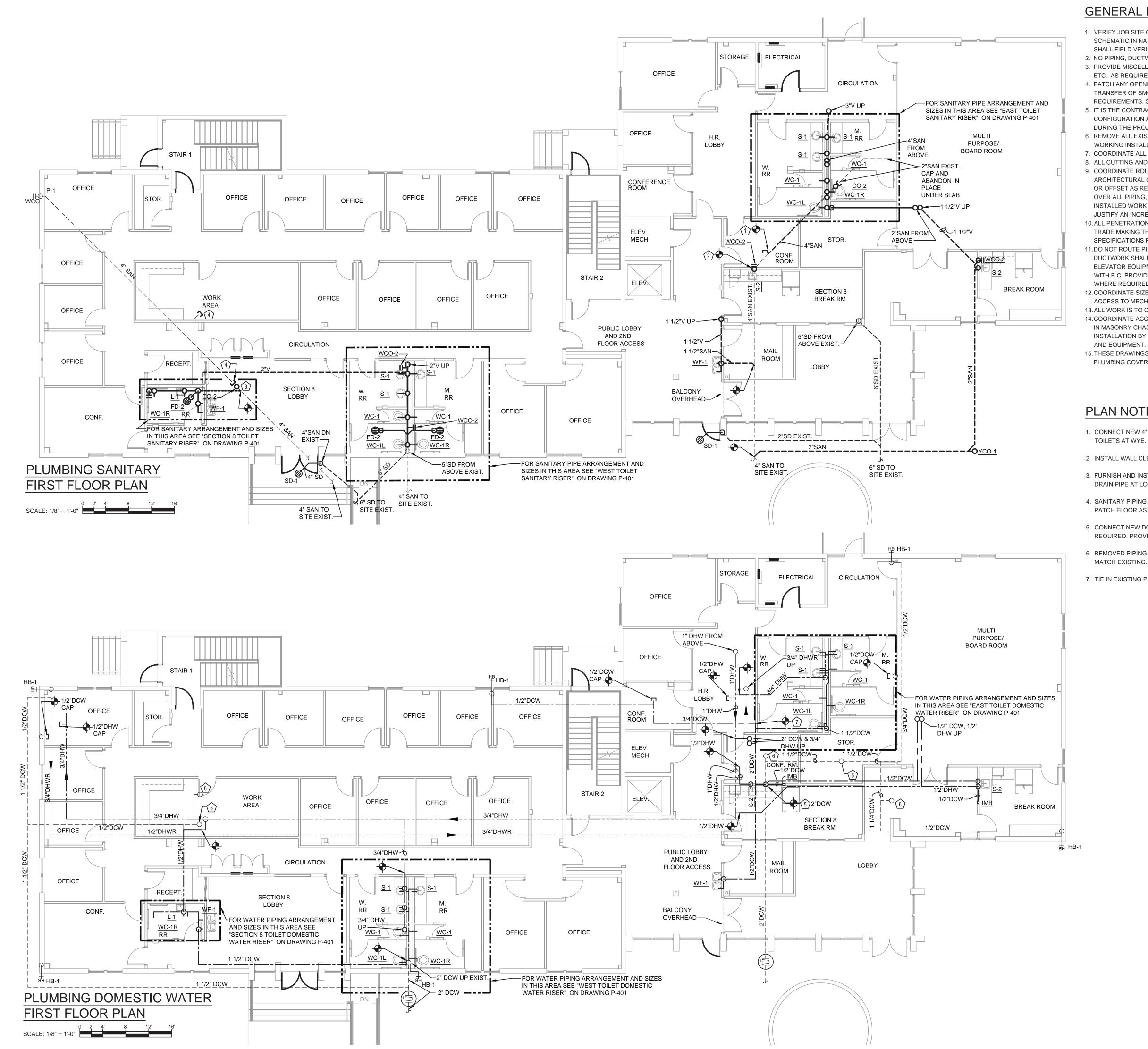
PLUMBING SECOND FLOOR **DEMOLITION PLAN**

12/17/2020 Approved By: WB

LC Checked By:

20002.01

P102



- 1. VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
- 2. NO PIPING, DUCTWORK, ETC. SHALL PENETRATE STRUCTURAL MEMBERS.
- 3. PROVIDE MISCELLANEOUS CUTTING, PATCHING AND REPAIRING OF FINISHES, ROOF, WALLS ETC., AS REQUIRED TO ACCOMMODATE THE NEW WORK.
- 4. PATCH ANY OPENINGS IN CORRIDORS REQUIRED TO BE CONSTRUCTED TO LIMIT THE TRANSFER OF SMOKE AND IN SMOKE BARRIERS AS REQUIRED TO MEET CODE REQUIREMENTS. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS.
- 5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXACT LOCATIONS, CONFIGURATION AND ROUTING OF EXISTING SYSTEMS REQUIRED TO REMAIN IN OPERATIO DURING THE PROJECT TO PREVENT DAMAGE DURING DEMOLITION AND PHASING.
- 6. REMOVE ALL EXISTING EQUIPMENT, DUCTWORK AND PIPING THAT IS NOT REQUIRED FOR A WORKING INSTALLATION.
- 7. COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- 8. ALL CUTTING AND PATCHING SHALL BE CLOSELY COORDINATED WITH THE G.C.
- 9. COORDINATE ROUTING OF PLUMBING, AND HVAC PIPING WITH DUCTWORK, LIGHTS, ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS RISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
- 10. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED BY THE TRADE MAKING THE PENETRATION. REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR REQUIREMENTS.
- 11.DO NOT ROUTE PIPING OR DUCTWORK OVER ELECTRICAL PANELS OR EQUIPMENT. PIPING C DUCTWORK SHALL NOT BE ROUTED THROUGH ELECTRICAL ROOMS, TELECOM ROOMS, OR ELEVATOR EQUIPMENT ROOMS UNLESS SPECIFICALLY SERVING THAT ROOM. COORDINATE WITH E.C. PROVIDE WATERTIGHT DRIP PAN WITH DRAIN TO NEAREST APPROVED RECEPTOR WHERE REQUIRED.
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- 15. THESE DRAWINGS ARE ACCOMPANIED BY SPECIFICATIONS. REFER TO SPECIFICATIONS ON
- PLUMBING COVER SHEET FOR FURTHER INFORMATION.

PLAN NOTES: (#)

- 1. CONNECT NEW 4" SAN PIPING TO EXISTING AT THIS POINT. CAP PIPE FROM REMOVED TOILETS AT WYE.
- 2. INSTALL WALL CLEANOUT AT LOCATION INDICATED INTO EXISTING PIPING.
- 3. FURNISH AND INSTALL NEW FLOOR CLEANOUT AND SANITARY TEE IN EXISTING SANITARY DRAIN PIPE AT LOCATION INDICATED. PATCH FLOOR AS REQUIRED TO MATCH EXISTING.
- 4. SANITARY PIPING REMOVED FROM THIS LOCATION. CAP EXISTING PIPING UNDER SLAB. PATCH FLOOR AS REQUIRED TO MATCH EXISTING.
- 5. CONNECT NEW DOMESTIC COLD WATER PIPING TO EXISTING BELOW SLAB. PATCH SLAB AS REQUIRED. PROVIDE 1/2" DCW TO SINK S-2. PROVIDE 1/2" DCW TO IMB.
- 6. REMOVED PIPING FROM TEE BELOW SLAB. PATCH MAIN AS REQUIRED AND PATCH SLAB TO
- 7. TIE IN EXISTING PIPING TO NEW AT POINT INDICATED.

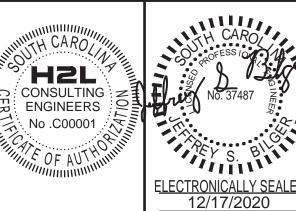


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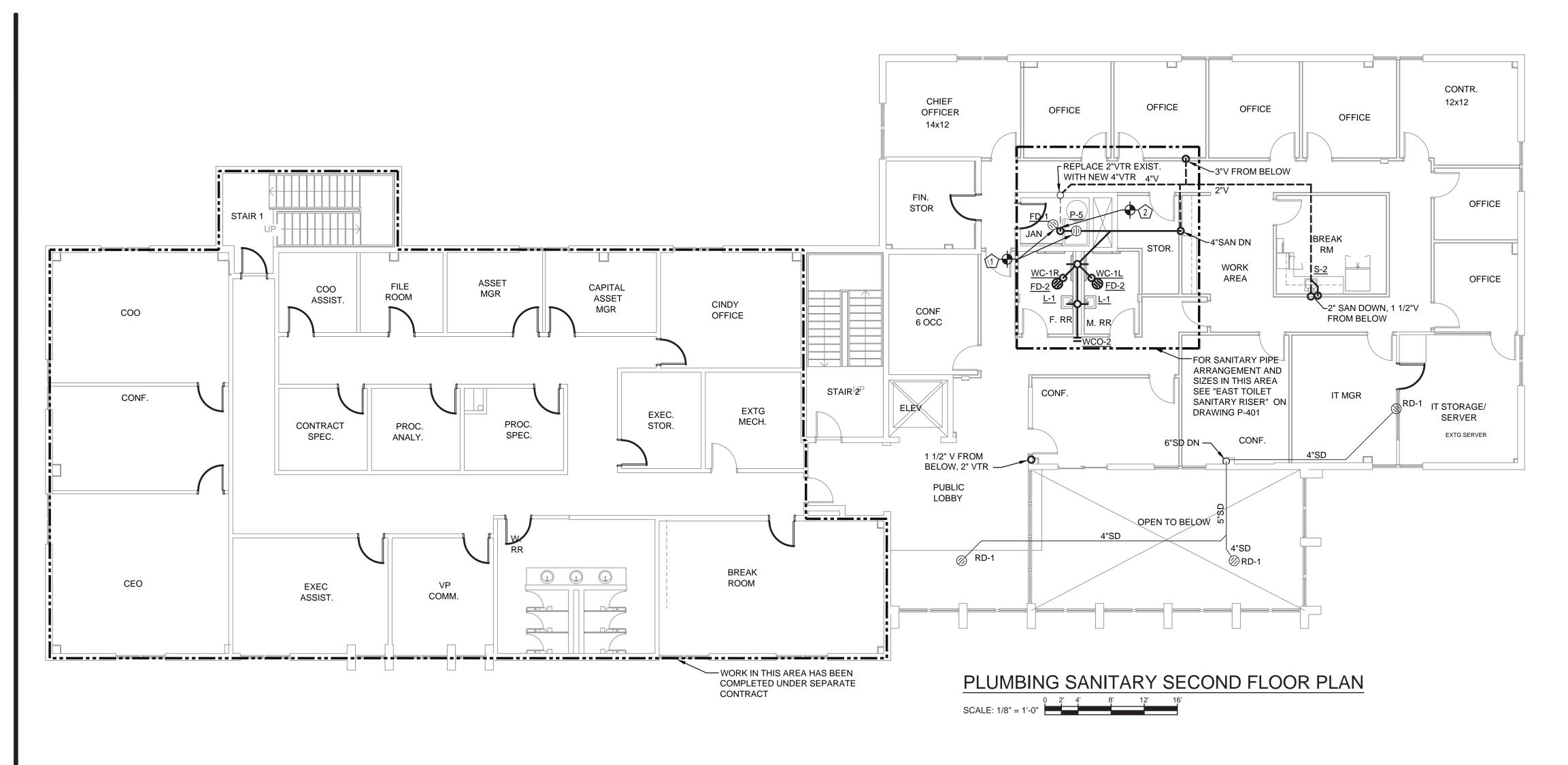
PLUMBING FIRST FLOOR

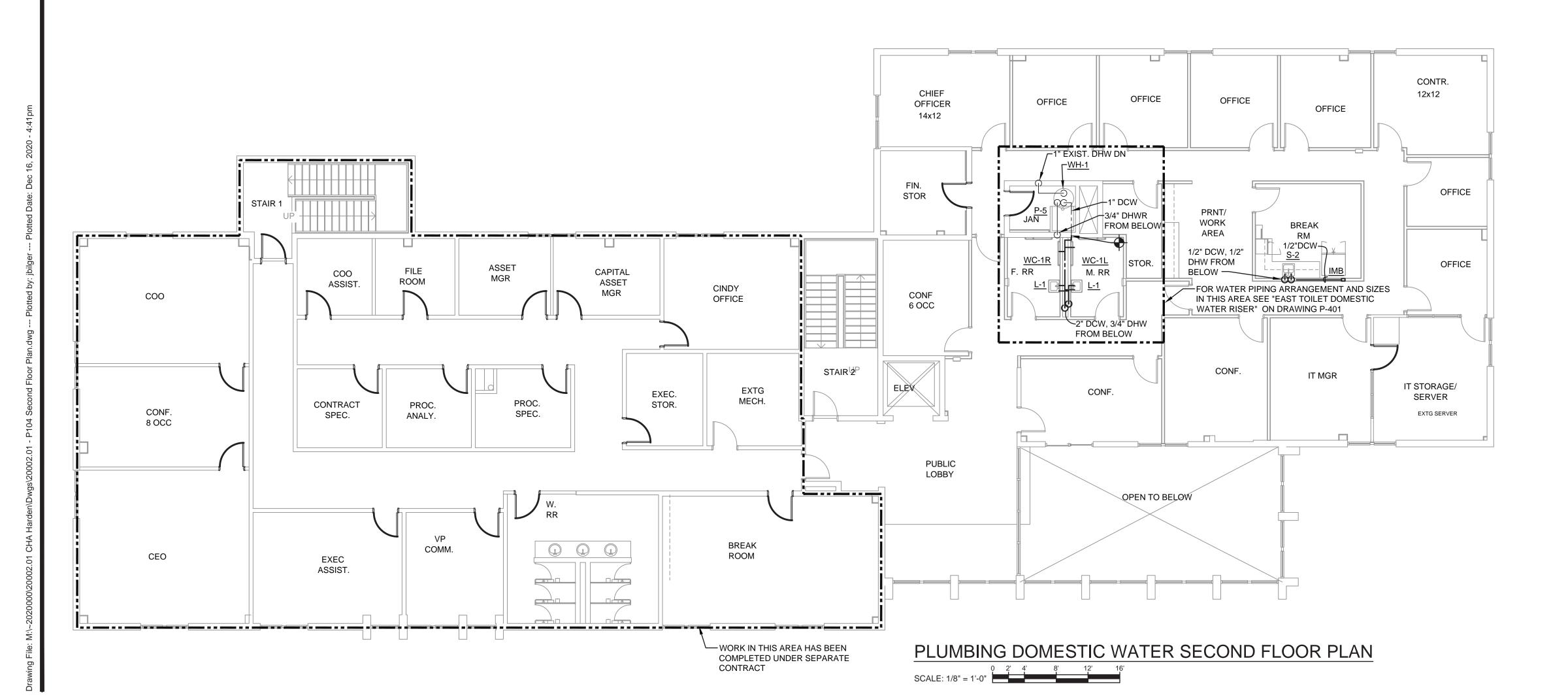
PLAN

12/17/2020 Approved By: WBS LC Checked By:

20002.01

P103





- 1. VERIFY JOB SITE CONDITIONS AND DIMENSIONS BEFORE BEGINNING WORK. PLANS ARE SCHEMATIC IN NATURE. LAYOUT IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS.
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- ARCHITECTURAL CEILING AND STRUCTURAL ELEMENTS. PIPING SHALL RISE AND DROP, JOG OR OFFSET AS REQUIRED TO AVOID CONFLICTS. DUCTWORK SHALL TAKE PRECEDENCE OVER ALL PIPING, EXCEPT WHERE GRADE MUST BE MAINTAINED FOR DRAINAGE. REWORK OF INSTALLED WORK TO RESOLVE CONFLICTS RISING FROM LACK OF COORDINATION SHALL NOT JUSTIFY AN INCREASE IN THE CONTRACT AMOUNT.
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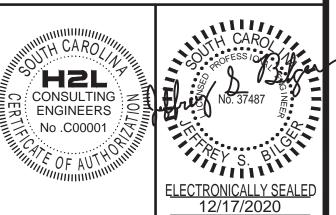
PLAN NOTES: (#)

- 1. CONNECT NEW 4" SAN PIPING TO EXISTING FLOOR DRAINS AT THIS POINT.
- 2. TIE IN EXISTING VENT INTO NEW DRAIN PIPING AT THIS POINT.



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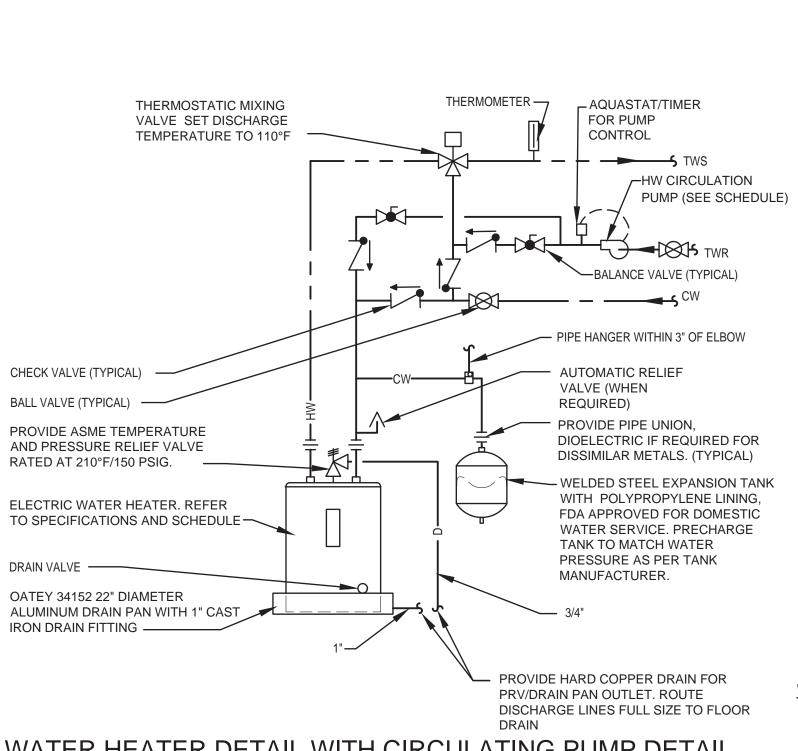
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PLUMBING SECOND FLOOR PLAN

12/17/2020 Approved By: WBS

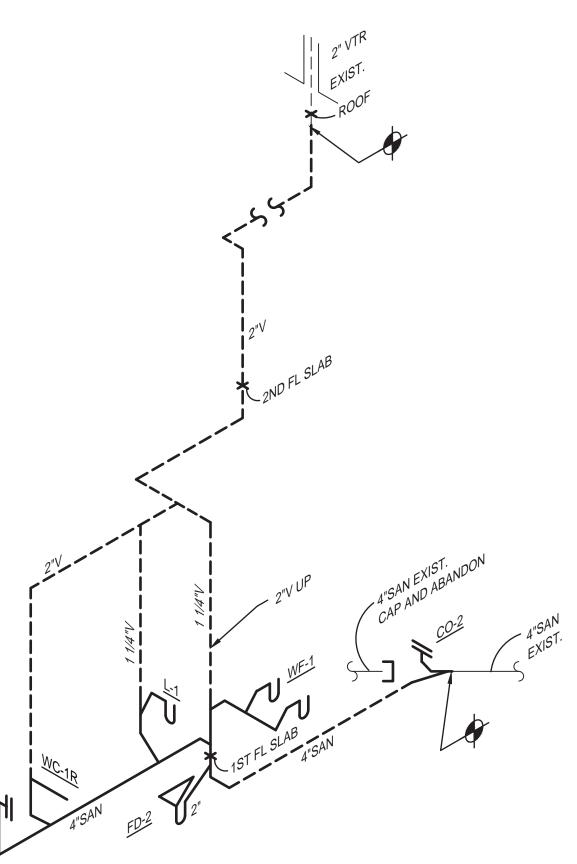
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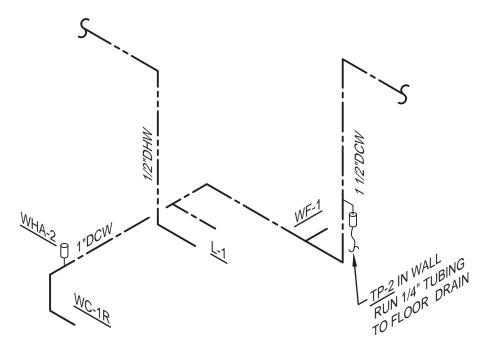


WATER HEATER DETAIL WITH CIRCULATING PUMP DETAIL

REFER TO SPECIFICATIONS, SCHEDULES AND NOTES FOR MORE INFORMATION. PIPING ARRANGEMENT SHOWN IS SCHEMATIC. VERIFY ALL CONNECTION SIZES AND LOCATIONS PER MANUFACTURERS REQUIREMENTS. ADJUST TO SUIT FIELD CONDITIONS. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION OF EXPANSION TANK. REFER TO FLOOR PLAN FOR PIPE SIZES. PROVIDE SEISMIC STRAPS OR BRACING, HEAT TRAP AND AUTOMATIC VACUUM RELIEF VALVE WHEN REQUIRED BY LOCAL AUTHORITIES.



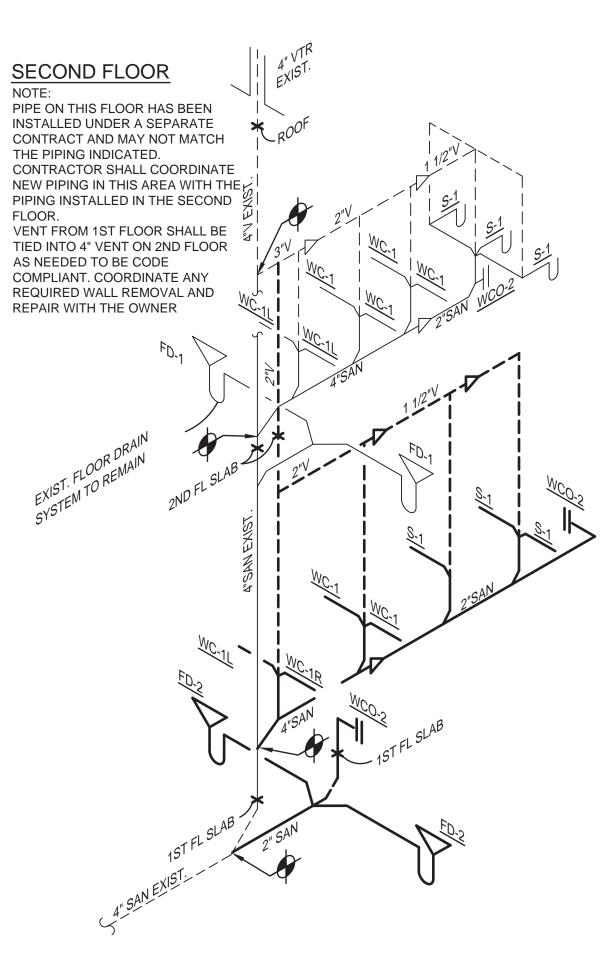
SECTION 8 TOILET SANITARY RISER



SECTION 8 TOILET WATER RISER

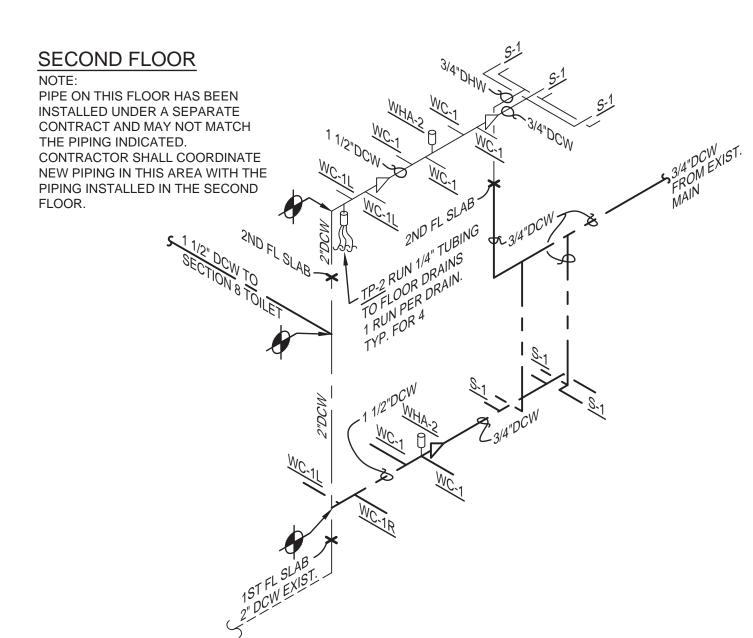
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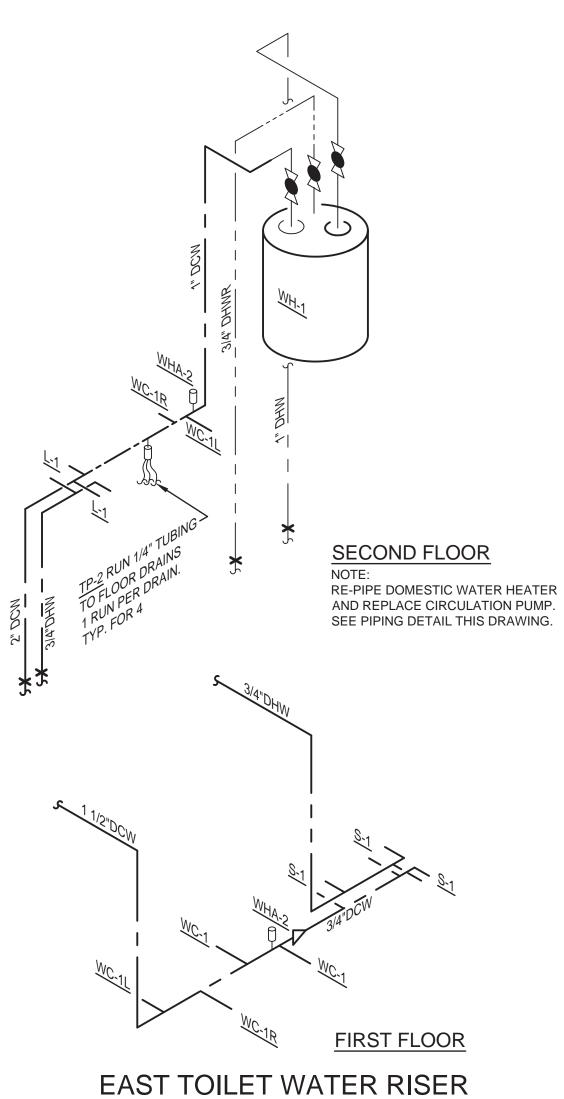
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WEST TOILET WATER RISER NOT TO SCALE

EAST TOILET SANITARY RISER

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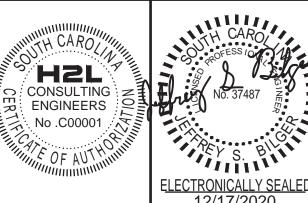


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COLUMBIA HOUSING **AUTHORITY**

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PLUMBING RISERS AND **DETAILS**

12/17/2020 Approved By: WBS

LC Checked By: 20002.01

Project No:

P401

ELECTRICAL SPECIFICATIONS

GENERAL

CONTRACTOR SHALL INSPECT THE SITE PRIOR TO SUBMITTING BID. THE DRAWINGS ARE INTENDED TO COVER THE COMPLETE ELECTRICAL SYSTEMS. THE DRAWINGS MAY NOT SHOW THE COMPLETE OR ACCURATE DETAILS OF THE BUILDING OR SYSTEM IN EVERY RESPECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY ADDITIONAL INFORMATION AS REQUIRED.

DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO SHOW APPROXIMATE LOCATIONS. ELECTRICAL WORK SHALL NOT INTERFERE WITH CLEARANCES REQUIRED FOR GENERAL AND MECHANICAL CONSTRUCTION. ANY CORRECTIONS WILL BE MADE BY THE ELECTRICAL CONTRACTOR AT NO COST TO THE OWNER.

THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED AS MUTUALLY EXPLANATORY AND COMPLEMENTARY. ANY ELECTRICAL WORK CALLED FOR BY ONE AND NOT BY THE OTHER SHALL BE PERFORMED AS THOUGH REQUIRED BY ALL.

ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, 2014 EDITION, AND ALL APPLICABLE STATE AND LOCAL CODES. ANY DISCREPANCIES BETWEEN THESE DOCUMENTS AND THE LOCAL CODES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. ALL WORK SHALL BE ACCOMPLISHED IN A NEAT, PROFESSIONAL MANNER.

FULLY COORDINATE WITH THE LOCAL POWER AND TELEPHONE COMPANIES TO PROPERLY SERVE THE FACILITY. CONTRACTOR SHALL PROVIDE AND INSTALL ALL CONDUIT, WIRE, PULL STRINGS, ETC. AS DIRECTED BY THE POWER AND TELEPHONE COMPANIES, TO MAKE SERVICE CONNECTION COMPLETE. LOCATION OF THE POWER COMPANY TRANSFORMER, AND THE TELEPHONE COMPANY CONNECTION POINT IS DETERMINED BY THE CIVIL ENGINEERING DRAWINGS, AND SHALL BE CONFIRMED BY THE CONTRACTOR PRIOR TO ROUGH-IN.

PROVIDE NEMA 1 ENCLOSURES FOR INDOOR USE AND NEMA 3R ENCLOSURES FOR OUTDOOR USE, UNLESS NOTED OTHERWISE.

THE ELECTRICAL CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND INCIDENTALS TO INSTALL A COMPLETE AND OPERABLE ELECTRICAL SYSTEM AS CALLED FOR ON THE DRAWINGS AND AS SPECIFIED HEREIN. ALL MATERIALS SHALL BE NEW AND SHALL BEAR THE U/L LABEL.

CATALOG NUMBERS ARE SHOWN ON THE DRAWINGS TO DESCRIBE THE ITEM AND THE EXPECTED QUALITY. SUBSTITUTIONS MAY BE MADE ONLY WITH THE APPROVAL OF THE ARCHITECT/OWNER. REQUEST FOR SUBSTITUTIONS MUST BE MADE TEN (10) DAYS PRIOR TO BIDDING.

CONTRACTOR SHALL CONFIRM BRANCH CIRCUIT SIZING FOR ALL MECHANICAL AND OTHER EQUIPMENT PRIOR TO INSTALLATION. ANY ADJUSTMENTS SHALL BE MADE BY THE ELECTRICAL CONTRACTOR. REVISIONS TO THE SIZING OF BRANCH CIRCUITS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL EQUIPMENT AND SYSTEMS BEFORE PLACING INTO OPERATION. RESTORE FINISHED SURFACES IF DAMAGED AND DELIVER THE ENTIRE INSTALLATION IN AN APPROVED CONDITION. CONTRACTOR SHALL INSTRUCT THE OWNER'S PERSONNEL IN THE PROPER OPERATION AND MAINTENANCE OF THE SYSTEMS. THE CONTRACTOR SHALL FURNISH TO THE OWNER THREE SETS OF OPERATION AND MAINTENANCE MANUALS FOR EACH SYSTEM.

CONTRACTOR SHALL GUARANTEE THE WORK INSTALLED UNDER HIS CONTRACT FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE. DEFECTS WHICH APPEAR AS A RESULT OF NORMAL USAGE SHALL BE REMEDIED BY THE CONTRACTOR TO THE COMPLETE SATISFACTION OF THE OWNER WITHOUT COST TO THE OWNER.

CONTRACTOR SHALL KEEP CURRENT A SET OF PLANS FOR THE DURATION OF CONSTRUCTION WITH ALL CHANGES TO WORK NEATLY AND ACCURATELY MARKED IN RED AND SHALL TURN OVER TO THE OWNER AT COMPLETION OF THE PROJECT.

IN ACCORDANCE WITH ARTICLE 110.16 OF THE NATIONAL ELECTRICAL CODE 2014, ALL ELECTRICAL EQUIPMENT THAT WILL LIKELY REQUIRE EXAMINATION, ADJUSTING, SERVICING OR MAINTENANCE WHILE ENERGIZED SHALL BE FIELD MARKED TO WARN QUALIFIED PERSONS OF A POTENTIAL ARC FLASH HAZARD, AND THE REQUIREMENT FOR OBSERVING SAFE WORK PRACTICES AND THE WEARING OF PERSONAL PROTECTIVE EQUIPMENT. THE ELECTRICAL EQUIPMENT SHALL INCLUDE, BUT IS NOT LIMITED TO PANELBOARDS, CONTROL PANELS AND DISCONNECT DEVICES. WORK PRACTICES SHALL BE AS REQUIRED BY NFPA-70E-2012. ELECTRICAL CONTRACTOR SHALL DEVELOP, OR CAUSE TO BE DEVELOPED, ALL NECESSARY STUDIES AND CALCULATIONS TO PROPERLY MARK ALL EQUIPMENT WITH ITS BOUNDARY LIMITS AND LEVEL OF PERSONAL PROTECTIVE EQUIPMENT. (PPE)

PANELBOARDS SHALL BE DEAD FRONT, SAFETY TYPE HAVING BUS SIZE, AND NUMBER AND SIZES OF BRANCH BREAKERS AS INDICATED ON THE DRAWINGS.

BRANCH BREAKERS SHALL BE MOLDED PLASTIC CASE, AIR CIRCUIT BREAKER TYPE, WITH THERMAL-MAGNETIC TRIP UNITS. MULTI-POLE BREAKERS SHALL HAVE AN INTEGRAL CROSSBAR TO ASSURE SIMULTANEOUS OPENING OF ALL POLES. BREAKERS SHALL HAVE AN OVER CENTER TRIP-FREE, TOGGLE-TYPE OPERATING MECHANISM WITH QUICK-MAKE, QUICK-BREAK ACTION AND POSITIVE HANDLE INDICATION.

- ALL TERMINALS SHALL BE RATED FOR 75 DEGREES CELSIUS COPPER WIRE.
- ALL PANELS TO HAVE A GROUND BUS AND AN ISOLATED NEUTRAL BUS.

PANELBOARDS SHALL HAVE A TYPED CIRCUIT DIRECTORY CARD MOUNTED IN A FRAME WITH PLASTIC COVER MOUNTED ON THE INSIDE OF THE DOOR. HANDWRITTEN DIRECTORIES ARE NOT ACCEPTABLE. EVERY CIRCUIT AND CIRCUIT MODIFICATION SHALL BE LEGIBLY IDENTIFIED AS TO ITS CLEAR. EVIDENT, AND SPECIFIC PURPOSE OR USE. THE IDENTIFICATION SHALL INCLUDE SUFFICIENT DETAIL TO ALLOW EACH CIRCUIT TO BE DISTINGUISHED FROM ALL OTHERS.

ALL PANELS SHALL BE LABELED AS TO PANEL NAME, NUMBER OR LETTER AND AS TO VOLTAGE LEVEL. THIS LABEL SHALL BE IN THE FORM OF A WHITE PHENOLIC TAG WITH BLACK ENGRAVED LETTERING.

RECEPTACLES AND SWITCHES

RECEPTACLES SHALL BE OF THE GROUNDING TYPE WITH GROUND CONNECTION MADE THROUGH AN EXTRA POLE WHICH SHALL BE PERMANENTLY CONNECTED TO THE RACEWAY AND GROUNDING SYSTEMS. MOUNTING HEIGHT OF RECEPTACLES SHALL BE 16" ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.

ALL RECEPTACLES INSTALLED IN 'WET' LOCATIONS (EXTERIOR) SHALL BE 'WEATHER-RESISTANT' RATED.

SWITCHES SHALL BE 20 AMP TOGGLE SWITCH TYPE, 120-277V. SWITCH SHALL BE QUIET ACTION.

MOUNTING HEIGHT OF DEVICES IN EXPOSED CONCRETE BLOCK OR BRICK SHALL OCCUR WITHIN A STRUCTURAL COURSE.

LIGHTING FIXTURES

LIGHTING FIXTURES SHALL BE FURNISHED COMPLETE IN ALL RESPECTS PER FIXTURE SCHEDULE. VERIFY CEILING FINISHES AND SUSPENSION SYSTEMS FOR SELECTION OF PROPER TRIM AND SUPPORT ARRANGEMENTS.

RECESSED FIXTURES MOUNTED IN GRID CEILING SHALL BE SUPPORTED INDEPENDANT OF THE CEILING GRID. AS A MINIMUM, TWO WIRES SHALL BE ATTACHED ON OPPOSITE ENDS OF EACH FIXTURE AND ATTACHED TO THE STRUCTURE. ADDITIONAL WIRES MAY BE REQUIRED BY THE LOCAL AUTHORITIES.

LIGHTING FIXTURES (CONTINUED)

PENDANT MOUNTED FIXTURES SHALL BE SUPPORTED FROM THE BUILDING STEEL BY CHAIN AND 'S' HOOKS THAT ARE SUITABLE TO CARRY THE WEIGHT OF THE FIXTURES.

VOLTAGE OF THE FIXTURES SHALL BE AS REQUIRED BY THE DESIGN.

RACEWAYS

ALL WIRING SHALL BE INSTALLED IN SUITABLE RACEWAYS AS SPECIFIED BELOW:

RACEWAYS INSTALLED BELOW OR IN-SLAB, OR BELOW GRADE SHALL BE RIGID STEEL OR PVC, SCHEDULE 40 WITH RIGID ELBOWS - MINIMUM SIZE 1".

RACEWAYS RUN CONCEALED IN, OR EXPOSED ON, WALLS AND CEILINGS MAY BE EMT. EMT SHALL BE ONLY USED FOR BRANCH CIRCUIT WIRING - MINIMUM SIZE SHALL BE 1/2" AND MAXIMUM SIZE SHALL BE 2". COMPRESSION FITTINGS ONLY SHALL BE USED WITH EMT.

IN EXPOSED AREAS RIGID STEEL SHALL BE USED BELOW 8 FEET ABOVE THE FINISHED FLOOR. EMT MAY BE USED ABOVE 8 FEET.

RIGID STEEL CONDUIT SHALL BE USED FOR ALL APPLICATIONS NOT LISTED FOR EMT.

FLEXIBLE METALLIC CONDUIT (GREENFIELD) MAY BE USED FOR FINAL CONNECTIONS TO FIXTURES AND EQUIPMENT. MAXIMUM LENGTH SHALL BE 6'.

LIMIT THE NUMBER OF BENDS BETWEEN OUTLET AND PANEL, OUTLET AND OUTLET, OR PANEL AND EQUIPMENT TO THE EQUIVALENT OF THREE 90 DEGREE BENDS (TOTAL OF 270 DEGREES). PULL BOX (POINT) WILL NEED TO BE ADDED IF THIS IS EXCEEDED. CONDUITS ROUTED ABOVE SUSPENDED CEILINGS SHALL BE SUPPORTED INDEPENDENTLY OF THE CEILINGS.

CONDUITS ROUTED EXPOSED TO THE FLOOR SHALL BE RUN PARALLEL OR PERPENDICULAR TO STRUCTURAL MEMBERS.

EMPTY CONDUITS SHALL BE FURNISHED WITH PULL WIRE FOR FUTURE INSTALLATION OF CABLING.

OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RATED WALLS. PARTITIONS, FLOORS OR CEILINGS SHALL BE SEALED USING APPROVED METHODS TO MAINTAIN THE FIRE-RESISTANCE RATING OF THE WALL, FLOOR OR CEILING.

OUTLET AND JUNCTION BOXES

OUTLET, TAP, JUNCTION AND PULL BOXES SHALL BE PROVIDED AS REQUIRED.

TAP, JUNCTION AND PULL BOXES SHALL BE SIZED AS REQUIRED AND FURNISHED WITH SCREW FASTENED COVERS.

OUTLET BOXES — FLUSH MOUNTED IN CEILINGS SHALL BE 4" SQUARE, 2-1/8" DEEP. FLUSH MOUNTED IN WALLS SHALL BE 4" SQUARE, 2-1/8" DEEP WITH PLASTER RING AND EXTENDERS AS REQUIRED.

FLOOR OUTLET BOXES SHALL BE ADJUSTABLE AND CONCRETE-TIGHT, CONSISTING OF A CAST-METAL BODY WITH THREADED OPENINGS FOR CONDUITS, ADJUSTABLE RING, BRASS FLANGE RING AND COVER PLATE.

DISCONNECT SWITCHES

DISCONNECT SWITCHES SHALL BE FURNISHED AS SHOWN ON THE DRAWINGS WITH VOLTAGE RATING, AMPERAGE RATING, AND NUMBER OF POLES AS INDICATED.

FUSES FOR FUSIBLE SWITCHES SHALL BE OF THE DUAL ELEMENT, REJECTION TYPE.

SWITCHES SHALL HAVE EXTERNAL SWITCH HANDLE. SWITCH AND DOOR SHALL BE INTERLOCKED SUCH THAT THE DOOR CAN NOT BE OPENED UNLESS THE SWITCH IS OPEN.

ALL DISCONNECT SWITCHES SHALL BEAR A LABEL "DO NOT OPEN SWITCH WHILE LOAD IS RUNNING".

<u>WIRE</u>

ALL WIRE SHALL BE SINGLE CONDUCTOR, STRANDED, COPPER SIZED AS INDICATED ON THE DRAWINGS. MINIMUM SIZE SHALL BE #14 AWG FOR 15 AMP BRANCH CIRCUITS AND #12 AWG FOR 20 AMP BRANCH CIRCUIT.

MC CABLE MAY BE USED IN WALLS AND FOR FIXTURE WHIPS ONLY. NON-METALLIC CABLE (ROMEX) MAY BE USED IN WALLS AND ABOVE "HARD" CEILINGS, IF IT IS ACCEPTABLE TO LOCAL AUTHORITIES. ROMEX SHALL NOT BE ROUTED EXPOSED, OR ABOVE A LAY-IN CEILING.

SOLID WIRE MAY BE USED FOR #12 AND #10 AWG WIRE USED ON LIGHTING FIXTURES, RECEPTACLES AND SWITCHES ONLY.

INSULATION OF WIRE SHALL BE 75 DEGREES CELSIUS (THW), 600 VOLT MINIMUM. ALL CONDUIT SIZING IS BASED ON THE USE OF 'THW' WIRE. CONTRACTOR MAY USE THHN FOR LIGHTING AND RECEPTACLES AT HIS DISCRETION.

COLOR CODING OF WIRE FOR 208 VOLT SYSTEMS SHALL COMPLY WITH THE LOCAL REQUIREMENTS IF ANY. NEUTRAL CONDUCTORS SHALL BE WHITE AND EQUIPMENT GROUND CONDUCTORS SHALL BE GREEN. INSULATION COLOR SCHEMES SHALL BE DIFFERENT FOR 208 AND 480 VOLT SYSTEMS.

ALL WIRING IN PANELS SHALL BE NEATLY LABELED WITH THE CIRCUIT NUMBER. THIS ALSO APPLIES TO NEUTRAL CONDUCTORS. NEUTRAL CONDUCTORS THAT ARE ASSOCIATED WITH MORE THAN ONE PHASE CONDUCTOR SHALL BEAR THE CIRCUIT NUMBER OF ALL CIRCUITS.

ANY WIRING RUN EXPOSED IN AN AIR HANDLING PLENUM SPACE SHALL BE RATED FOR USE IN "AIR HANDLING PLENUM".

GROUNDING SYSTEM

INSTALL A COMPLETE GROUNDING SYSTEM IN ACCORDANCE WITH NEC AND THESE SPECIFICATIONS. GROUNDING SYSTEM SHALL BE ELECTRICALLY CONTINUOUS THROUGHOUT.

INSTALL A #2/0 BARE COPPER CONDUCTOR (UNO) CONNECTED TO 3/4" X 10' COPPER GROUND ROD AND TIED TO GROUND BUS OF SERVICE ENTRANCE PANEL (OR DISCONNECT).

STRUCTURAL STEEL AND CONCRETE REBAR SHALL BE CONNECTED TO THE SERVICE ENTRANCE PANEL. IF AVAILABLE.

TIE GROUND BUS OF SERVICE ENTRANCE EQUIPMENT TO METALLIC INCOMING WATER LINE WITH #2/0 BARE COPPER CONDUCTOR. PROVIDE JUMPER AROUND WATER METER IF REQUIRED.

CONTRACTOR SHALL PROVIDE A PROPERLY SIZED, GREEN COLORED INSULATED GROUNDING CONDUCTOR IN ALL CONDUITS. THIS CONDUCTOR IS NOT INDICATED IN THE HASH MARKS ON THE

| | ELECTRICAL LEGEND | |
|------------------|--|--|
| # | 20A, 125V, 2 POLE, 3 WIRE, GROUNDING DUPLEX RECEPTACLE, MTD. 18" AFF, UNO. "U" INDICATES DEVICE WITH USB CHARGING POINT | |
| = | 20A, 125V, 2 POLE, 3 WIRE, GROUNDING DUPLEX RECEPTACLE, MTD. 42" AFF, UNO. | |
| # | 20A, 125V, 2 POLE, 3 WIRE, GROUNDING QUAD RECEPTACLE, TWO GANG BOX, MTD. 42" AFF, UNO. | |
| # | 20A, 125V, 2 POLE, 3 WIRE, GROUNDING QUAD RECEPTACLE, TWO GANG BOX, MTD. 48" AFF, UNO. | |
| \bigcirc | 20A, 250V, 3 POLE, 3—WIRE GROUNDING, SINGLE RECEPTACLE, NEMA 15—20R | |
| | 20A, 250V, 3 POLE, 3-WIRE GROUNDING, SINGLE RECEPTACLE, NEMA 15-30R | |
| Œ | 20A, 250V, 3 POLE, 3-WIRE GROUNDING, CEILING MOUNTED, NEMA 15-20R RECEPTACLE OUTLET, PROVIDE DROP CORD WITH STRAIN RELIEF GRIPS ON BOTH ENDS IN KITCHENS, DEVICE SHALL BE AT 6' A.F.F. | |
| • | 20A, 125V, 2 POLE, 3-WIRE GROUNDING, CEILING MOUNTED, DUPLEX RECEPTACLE OUTLET, PROVIDE DROP CORD WITH STRAIN RELIEF GRIPS ON BOTH ENDS IN KITCHENS, DEVICE SHALL BE AT 6' A.F.F. | |
| \triangleright | COMBINATION PHONE AND DATA OUTLET. PROVIDE 4" SQUARE BOX WITH SINGLE GANG DEVICE RING. STUB 1" CONDUIT WITH PULLSTRING FROM BOX TO LOCATION ABOVE ACCESSIBLE CEILING AS INDICATED ON DRAWINGS. PROVIDE BUSHING ON OPEN END OF CONDUIT. MOUNTED 18" AFF, UNO, STUB UP 12" ABOVE CEILING | |
| | COMBINATION PHONE AND DATA OUTLET. PROVIDE 4" SQUARE BOX WITH SINGLE GANG DEVICE RING. STUB 1" CONDUIT WITH PULLSTRING FROM BOX TO LOCATION ABOVE ACCESSIBLE CEILING AS INDICATED ON DRAWINGS. PROVIDE BUSHING ON OPEN END OF CONDUIT. MOUNTED 42" AFF, UNO, STUB UP 12" ABOVE CEILING | |
| | ELECTRICAL PANEL, REFER TO PANEL SCHEDULE FOR DETAILS. | |
| 괍 | DISCONNECT SWITCH, GIVEN — AMPERE RATING/NO. OF POLES/NEMA ENCLOSURE/FUSE SIZE. VOLTAGE RATING OF SWITCH SHALL BE AS REQUIRED FOR THE SERVICE. | |
| ю | WALL MOUNTED SCONCE LIGHT FIXTURE. SEE FIXTURE SCHEDULE FOR DETAILS | |
| | WALL PACK. SEE FIXTURE SCHEDULE FOR DETAILS | |
| 0 | JUNCTION BOX | |
| S | TOGGLE SWITCH, 20 AMPERE, SINGLE POLE, 120-277 VOLTS. | |
| Soc | OCCUPANCY SWITCH | |

ABBREVIATIONS

| L | | | | |
|---|-----|--------------------------|------|------------------------|
| | | | | |
| | AFF | ABOVE FINISHED FLOOR | MCB | MAIN CIRCUIT BREAKER |
| | AFG | ABOVE FINISHED GRADE | MFR | MANUFACTURER |
| | AC | ABOVE COUNTER HEIGHT | NL | NIGHTLIGHT |
| | AL | ALUMINUM | NTS | NOT TO SCALE |
| | BKR | BREAKER | PH | PHASE |
| | CU | COPPER | PNL | PANEL |
| | CKT | CIRCUIT | Р | POLES |
| | D | DEDICATED OUTLET | SW | SWITCH |
| | DWG | DRAWING | UNO | UNLESS NOTED OTHERWISE |
| | EWC | ELECTRIC WATER COOLER | UH | UNIT HEATER |
| | FU | FUSE | UGND | UNDERGROUND |
| | FWE | FURNISHED WITH EQUIPMENT | W/ | WITH |
| | G | GROUND FAULT INTERRUPTER | WH | WATER HEATER |
| | IG | ISOLATED GROUND | WP | WEATHERPROOF |
| | MLO | MAIN LUGS ONLY | WR | WEATHER RESISTANT |
| | | | XFMR | TRANSFORMER |
| | | | | |

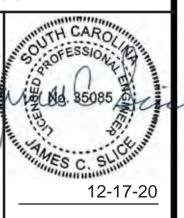
| LIGHTING FIXTURE SCHEDULE | | | | | |
|---|---|--|---------------|-----|-----|
| TYPE DESCRIPTION MANUFACTURER LAMPS WATTS VOLTS | | | | | |
| Α | 2x4 LAY-IN FIXTURE | LITHONIA LIGHTING
2GTL4-4OL-RW-A12125-120-EZ1-LP850 | LED | 30 | 120 |
| В | 2x4 SURFACE FIXTURE | LITHONIA LIGHTING
2TLX4-40L-RW-A12-EZ1-LP850 | LED | 32 | 120 |
| С | 2x2 LAY-IN FIXTURE | LITHONIA LIGHTING
2GTL2-40L-RW-A12125-120-EZ1-LP850 | LED | 34 | 120 |
| CEX | COMBINATION EMERGENCY LIGHT/EXIT SIGN WITH LED ILLUMINATION, INTEGRAL BATTERY BACK-UP | LITHONIA
ECR LED HO | BY
MFG | 3.8 | 120 |
| EM | TWO LAMP LED EMERGENCY LIGHT, INTERNAL BATTERY | SURE-LITES
SEL17 | LED
BY MFG | 3.6 | 120 |
| EX | EXIT LIGHT, INTERNAL NI—Cd BATTERY UNIVERSAL MOUNTING | COOPER
APX7-R | BY
MFG | 3 | 120 |
| REM | DECORATIVE OUTDOOR REMOTE EGRESS LIGHT.
2—HEADS. UL WET LOCATION LISTED. | DUAL LITE
OCR SERIES | BY
MFG | 10 | 6 |



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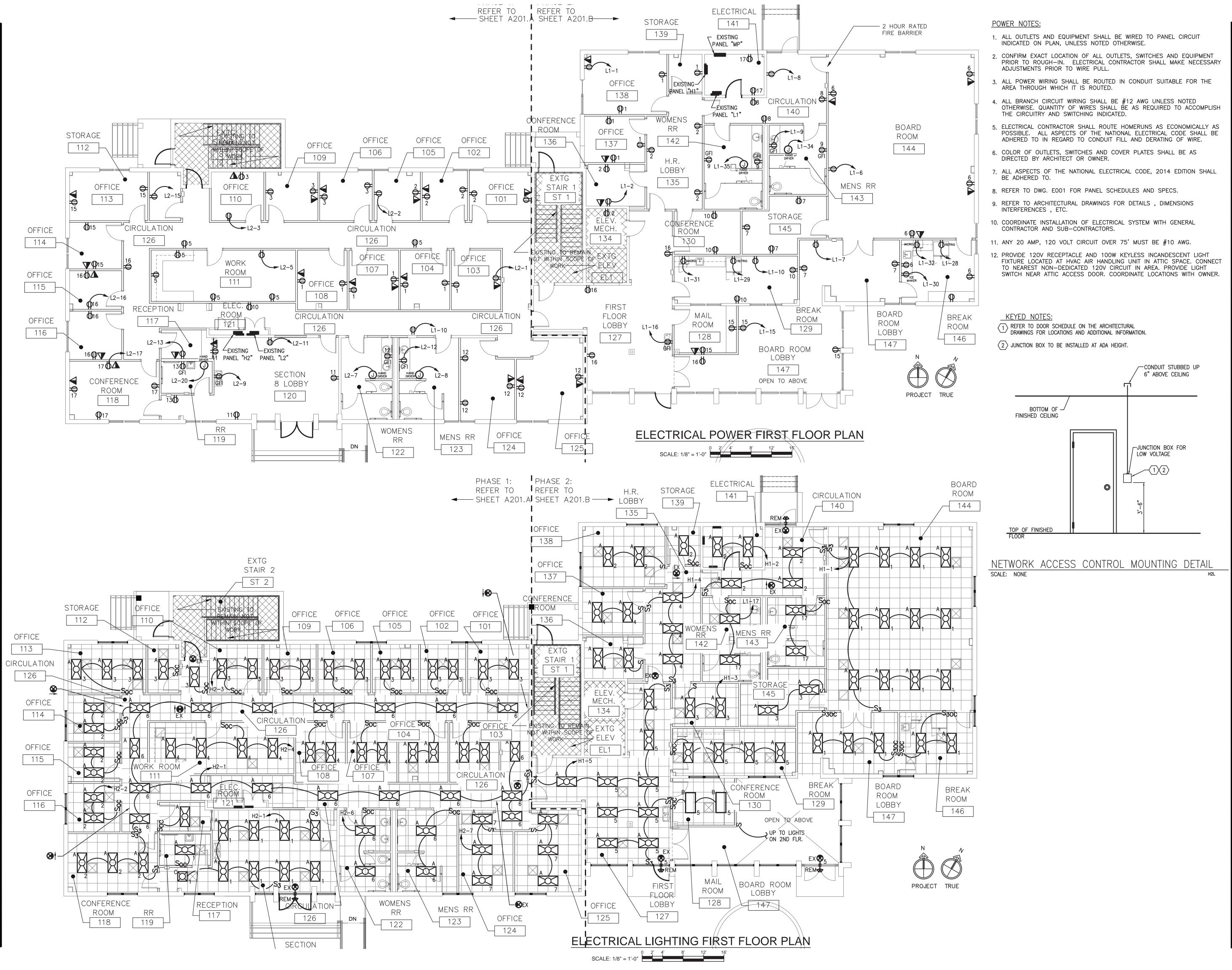
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ELECTRICAL LEGEND, SCHEDULES AND SPECIFICATIONS

ate: 12.17.2020 Approved By: JCS TSB Checked By: Drawn By:

Project No: Sheet No:

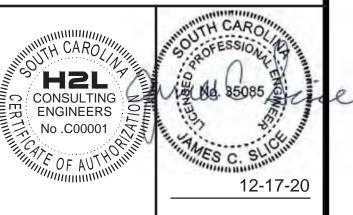
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ELECTRICAL FIRST FLOOR PLAN

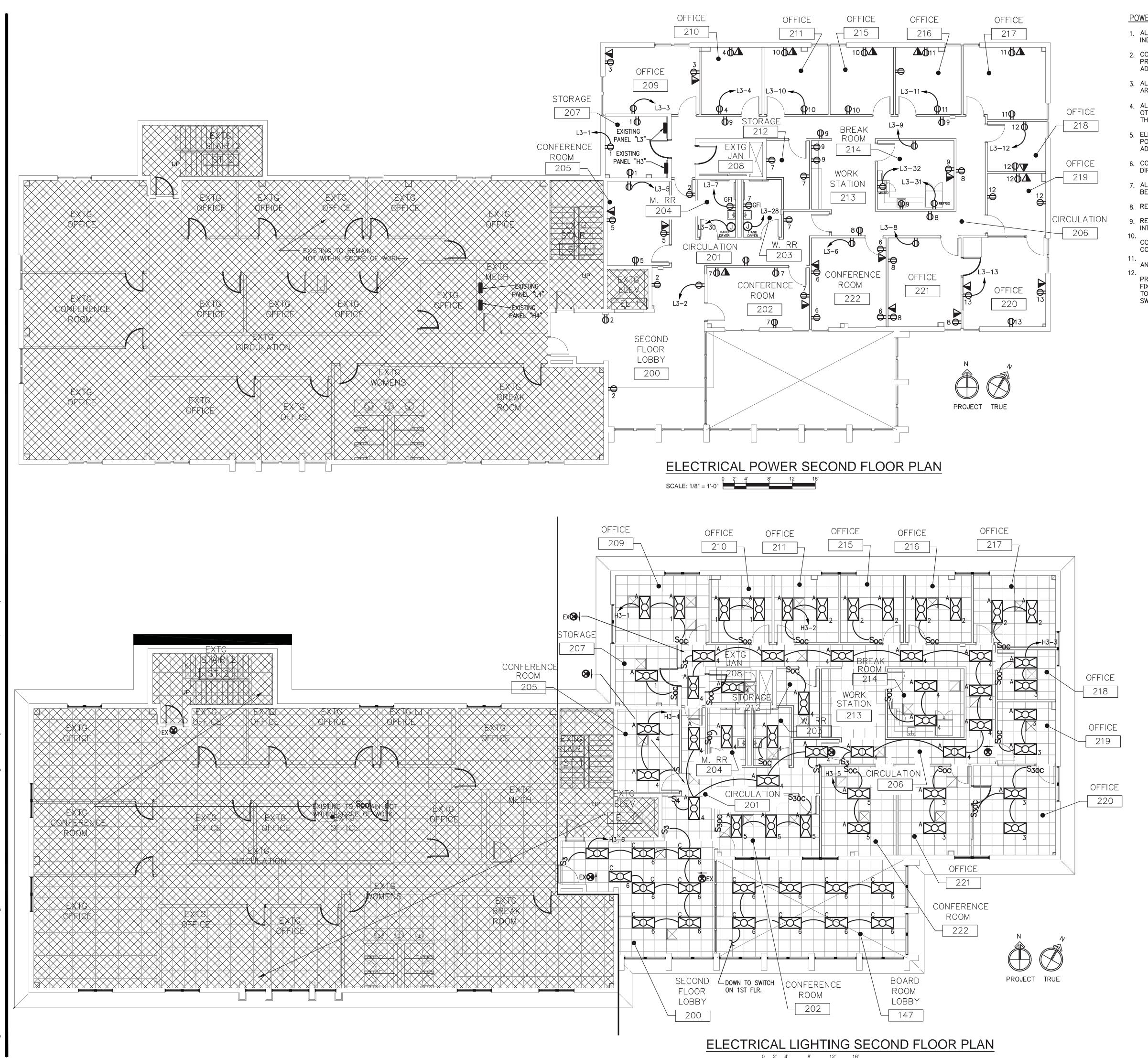
12-17-20 Approved By:

TSB Checked By:

20002.01

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E101



POWER NOTES:

- 1. ALL OUTLETS AND EQUIPMENT SHALL BE WIRED TO PANEL CIRCUIT INDICATED ON PLAN, UNLESS NOTED OTHERWISE.
- 2. CONFIRM EXACT LOCATION OF ALL OUTLETS, SWITCHES AND EQUIPMENT PRIOR TO ROUGH-IN. ELECTRICAL CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS PRIOR TO WIRE PULL.
- 3. ALL POWER WIRING SHALL BE ROUTED IN CONDUIT SUITABLE FOR THE AREA THROUGH WHICH IT IS ROUTED.
- 4. ALL BRANCH CIRCUIT WIRING SHALL BE #12 AWG UNLESS NOTED OTHERWISE. QUANTITY OF WIRES SHALL BE AS REQUIRED TO ACCOMPLISH THE CIRCUITRY AND SWITCHING INDICATED.
- 5. ELECTRICAL CONTRACTOR SHALL ROUTE HOMERUNS AS ECONOMICALLY AS POSSIBLE. ALL ASPECTS OF THE NATIONAL ELECTRICAL CODE SHALL BE ADHERED TO IN REGARD TO CONDUIT FILL AND DERATING OF WIRE.
- 6. COLOR OF OUTLETS, SWITCHES AND COVER PLATES SHALL BE AS DIRECTED BY ARCHITECT OR OWNER.
- 7. ALL ASPECTS OF THE NATIONAL ELECTRICAL CODE, 2017 EDITION SHALL BE ADHERED TO.
- 8. REFER TO DWG. E001 FOR PANEL SCHEDULES AND SPECS.
- 9. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS, DIMENSIONS INTERFERENCES, ETC.
- COORDINATE INSTALLATION OF ELECTRICAL SYSTEM WITH GENERAL CONTRACTOR AND SUB-CONTRACTORS.
- ANY 20 AMP, 120 VOLT CIRCUIT OVER 75' MUST BE #10 AWG.
- PROVIDE 120V RECEPTACLE AND 100W KEYLESS INCANDESCENT LIGHT FIXTURE LOCATED AT HVAC AIR HANDLING UNIT IN ATTIC SPACE. CONNECT TO NEAREST NON-DEDICATED 120V CIRCUIT IN AREA. PROVIDE LIGHT SWITCH NEAR ATTIC ACCESS DOOR. COORDINATE LOCATIONS WITH OWNER.



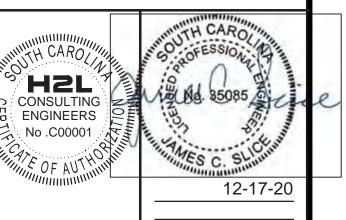
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1917 HARDEN STREET Columbia, SC 29204

ELECTRICAL SECOND FLOOR PLAN

10-09-2020

TSB Checked By: 20002.01

E102

| | PANE
'OLT | | 'H2'(EXISTING)
E: 208Y/120V-3P-4W | | OUN [*] | TING:
R: | SUF
TOF | RFACE | | | ENCLOSURE: NEMA 1
MAINS: 200A MLO | | | |
|------|--------------|-------|--------------------------------------|--------------|------------------|-------------|------------|-------|-----|--------------|--------------------------------------|----------|-------|--------------|
| DEV | /ICE | | BRANCH CIRCUIT | | | PHA | ASE LO | DAD | | | BRANCH CIRCUIT | | DE | VICE |
| S | S | S | | | | (VO | LT-AM | PS) | | | | v | | T_{α} |
| AMPS | POLES | NOTES | DESIGNATION | VOLT
AMPS | NO. | ØΑ | ØΒ | ФC | NO. | VOLT
AMPS | DESIGNATION | NOTE | POLES | AMPS |
| 20 | 1 | | LIGHTS RM. 121 | 640 | 1 | 1690 | | | 2 | 1050 | LIGHTS RM. 128 | | 1 | 20 |
| 20 | 1 | | LIGHTS RM. 123 | 720 | 3 | | 1780 | | 4 | 1060 | LIGHTS RM. 131 | | 1 | 20 |
| 20 | 1 | | LIGHTS RM. 129 | | 5 | | | 780 | 6 | 780 | LIGHTS RM. 135-136-122 | | 1 | 2 |
| 20 | 1 | | LIGHTS RM. 134-133-132 | 980 | 7 | 980 | | | 8 | | HEAT RM. 135-136 | | 1 | 2 |
| 20 | 1 | | HEAT RM. 134 | | 9 | | | | 10 | | SPARE | . | 1 | 2 |
| 20 | 1 | ٠ | HEAT RM. 128 | | 11 | | | | 12 | | HEAT RM. 128 | <u> </u> | 1 | 2 |
| 20 | 1 | · | HEAT RM. 128 | | 13 | | | • | 14 | | HEAT RM. 128 | <u> </u> | 1 | 2 |
| 20 | 1 | ٠ | SPARE | | 15 | | | | 16 | | HEAT RM. 127 | <u> </u> | 1 | 2 |
| 20 | 1 | ٠ | HEAT RM. 131 | | 17 | | 1 | | 18 | | HEAT RM. 131 | <u> </u> | 1 | 20 |
| 20 | 1 | ٠ | HEAT RM. 132 | | 19 | | | , | 20 | | HEAT RM. 130 | | 1 | 20 |
| 20 | 1 | ٠ | RECEPT. OFFICE | | 21 | | | | 22 | | POWER POLE | <u> </u> | 1 | 2 |
| 20 | 1 | ٠ | SPARE | | 23 | | ı | | 24 | | SPARE | | 1 | 2 |
| 40 | 3 | | HEATER RM. 121 | | 25 | • | | | 26 | | HEATER RM. 129-131 | | 3 | 2 |
| 20 | 3 | | SPARE | | 27 | • | | | 28 | | PANEL L2 | | 3 | 10 |
| 20 | 3 | | SPARE | | 29 | • | • | | 30 | | SPARE | | 3 | 2 |
| | | | K\ | /A TOTAL | | • | | | | | TOTAL KVA:
TOTAL AMPS: | | | <u>.</u> |

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| LOAD DESCRIPTION | DEMAND | VOLT - | - AMPS |
|-------------------|--------|-----------|--------|
| LOAD DESCRIPTION | FACTOR | CONNECTED | DEMAND |
| LIGHTING | 1.25 | , | |
| RECEPTACLES | N.E.C. | , | |
| HVAC EQUIPMENT | 1.00 | , | |
| MISC. EQUIPMENT | 1.00 | , | |
| WATER HEATER | 1.25 | | |
| KITCHEN EQUIPMENT | 0.65 | , | |
| | TOTAL- | , | |

DEMAND LOAD AMPS = . A

| | PANEL 'H2' VOLTAGE: 208Y/120V-3P-4W | | | | | UNTING: SURFACE DER: TOP | | | ENCLOSURE: NEMA 1 MAINS: 200A MLO | | | | | |
|--------------|-------------------------------------|--------------|------------------------------------|--------------|-----|--------------------------|-------------|-----------|-----------------------------------|--------------|--------------------------------|---|-------|--------------|
| DEV | /ICE | - | BRANCH CIRCUIT | | | PHA | SE LC |)AD | | | BRANCH CIRCUIT | | DEV | /ICE |
| AMPS
TRIP | POLES | NOTES | DESIGNATION | VOLT
AMPS | NO. | (VOI
øA | _T—AM
øB | PS)
øC | NO. | VOLT
AMPS | | | POLES | AMPS
TRIP |
| 20 | 1 | | LIGHTS RM. 120 | 332 | 1 | 602 | | | 2 | 270 | LIGHTS RM. 114-115-116-118 | • | 1 | 20 |
| 20 | 1 | | LIGHTS RM. 101-102-105-106-109-113 | 510 | | | 870 | | 4 | 360 | LIGHTS RM. 111-108-107-104-104 | 3 · | 1 | 20 |
| 20 | 1 | • | LIGHTS RM. 129 | | 5 | | | 660 | _ | 660 | LIGHTS RM. 122-123-126 | | 1 | 20 |
| 20 | 1 | • | LIGHTS RM. 124-125 | 180 | _ | 180 | | | 8 | | HEAT RM. 135-136 | ٠. | 1 | 20 |
| 20 | 1 | Ŀ | HEAT RM. 134 | | 9 | | | | 10 | | SPARE | <u> · </u> | 1 | 20 |
| 20 | 1 | • | HEAT RM. 128 | | 11 | | | | 12 | | HEAT RM. 128 | <u> · </u> | 1 | 20 |
| 20 | 1 | ŀ | HEAT RM. 128 | | 13 | | | | 14 | | HEAT RM. 128 | · | 1 | 20 |
| 20 | 1 | ŀ | SPARE | | 15 | Į | | | 16 | | HEAT RM. 127 | · | 1 | 20 |
| 20 | 1 | Ŀ | HEAT RM. 131 | | 17 | | | | 18 | , | HEAT RM. 131 | ١. | 1 | 20 |
| 20 | 1 | <u> • </u> | HEAT RM. 132 | | 19 | | | | 20 | | HEAT RM. 130 | <u> • </u> | 1 | 20 |
| 20 | 1 | ļ · | RECEPT. OFFICE | | 21 | Į Į | | | 22 | | POWER POLE | <u> · </u> | 1 | 20 |
| 20 | 1 | <u> · </u> | SPARE | | 23 | | | | 24 | | SPARE | ١. | 1 | 20 |
| 40 | 3 | | HEATER RM. 121 | | 25 | | • | • | 26 | | HEATER RM. 129-131 | | 3 | 20 |
| 20 | 3 | | SPARE | | 27 | | | | 28 | | PANEL L2 | | 3 | 100 |
| 20 | 3 | | SPARE | | 29 | | | · | 30 | | SPARE | | 3 | 20 |
| | | | KV/ | <u> </u> | | • | • | | | TOTAL KVA: | | |
 | |

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

CIRCUITS SHOWN IN BOLD ARE NEW AND WILL REPLACE EXISTING CIRCUITS CURRENTLY SHOWN ON PANEL.

| LOAD DESCRIPTION | DEMAND | VOLT - | - AMPS |
|-------------------|--------|--------------|--------|
| LOAD DESCRIPTION | FACTOR | CONNECTED | DEMAND |
| LIGHTING | 1.25 | • | |
| RECEPTACLES | N.E.C. | • | • |
| HVAC EQUIPMENT | 1.00 | • | |
| MISC. EQUIPMENT | 1.00 | • | • |
| WATER HEATER | 1.25 | • | • |
| KITCHEN EQUIPMENT | 0.65 | • | • |
| | TOTAL- | • | • |
| | DEMA | ND LOAD AMPS | = . A |

| PANE
VOLTA | | 'H1'(EXISTING)
E: 208Y/120V-3P-4W | | OUN
EEDE | TING:
R: | SUI
TOF | RFACE | | | ENCLOSURE: NEMA 1
MAINS: 150A MLO | | | |
|-----------------------|---------|--------------------------------------|--------------|-------------|-------------|------------|-------|----|----------------|--------------------------------------|-------|-------|------|
| DEVICE BRANCH CIRCUIT | | | | PHA | ASE LO | DAD | D | | BRANCH CIRCUIT | | DEVIC | | |
| S S | S | | | | (VO | LT-AM | PS) | | | | S | S | w_ |
| AMPS
TRIP
POLES | NOTE | DESIGNATION | VOLT
AMPS | NO. | ØΑ | ØΒ | øС | ON | VOLT
AMPS | DESIGNATION | NOTE | POLES | AMPS |
| 20 1 | • | LIGHTS 113-114 | 490 | | 1340 | | | 2 | 850 | LIGHTS 112-111 | | 1 | 20 |
| 20 1 | \cdot | LIGHTS 115 | 1120 | 3 | | 2100 | | 4 | 980 | LIGHTS CORR. | | 1 | 20 |
| 20 1 | \cdot | LIGHTS 119-LOBBY-STAIRS | 1120 | 5 | | | 1120 | 6 | | HEAT 113 | | 1 | 20 |
| 20 1 | | HEAT 115 | | 7 | | | | 8 | | HEAT 114 | | 1 | 20 |
| 30 1 | | MINISPLIT HVAC BY LOBBY | | 9 | | | | 10 | | HEAT CORR. 103 | | 1 | 20 |
| 20 1 | | PARKING LOT LIGHTS | | 11 | | | | 12 | | SPARE | | 1 | 20 |
| 20 1 | | HEAT 112 | | 13 | | | | 14 | | HEAT 112 | | 1 | 20 |
| 20 1 | | HEAT 112 | | 15 | | | | 16 | | SPARE | | 1 | 20 |
| 20 1 | | HEAT 115 | | 17 | | | | 18 | | HEAT 115 | | 1 | 20 |
| 20 1 | | SPARE | | 19 | | | | 20 | | PHONES | | 1 | 20 |
| 20 1 | | HEAT 115 | | 21 | | | | 22 | | HEATER 119 | | | |
| 20 1 | | SPARE | | 23 | | | | 24 | | HEAT 114 | | 3 | 20 |
| 20 1 | | | | 25 | | | | 26 | | | | | |
| | | | | 27 | | • | | 28 | | | | 1 | 20 |
| 20 1 | | | | 29 | | | | 30 | | | | 1 | 20 |
| 20 1 | | | | 31 | | | | 32 | | | | 1 | 20 |
| 20 1 | | | | 33 | | • | | 34 | | | | 1 | 20 |
| 20 1 | | | | 35 | | | | 36 | | | | 1 | 20 |
| 20 1 | | | | 37 | | | | 38 | | | | 1 | 20 |
| 20 1 | • | | | 39 | | | | 40 | | | | 1 | 20 |
| 20 1 | • | | | 41 | | | | 42 | | | | 1 | 20 |
| | | KV | 4 TOTAL | | | • | • | | | TOTAL KVA: _
TOTAL AMPS: | | | |

NOTES: 1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| LOAD DESCRIPTION | DEMAND | VOLT - | - AMPS |
|-------------------|--------|--------------|--------|
| LUAD DESCRIPTION | FACTOR | CONNECTED | DEMAND |
| LIGHTING | 1.25 | | |
| RECEPTACLES | N.E.C. | • | • |
| HVAC EQUIPMENT | 1.00 | | |
| MISC. EQUIPMENT | 1.00 | | |
| WATER HEATER | 1.25 | • | |
| KITCHEN EQUIPMENT | 0.65 | | |
| | TOTAL- | | |
| | DEMA | ND LOAD AMPS | = A |

PANEL MOUNTING: SURFACE ENCLOSURE: NEMA 1 FEEDER: VOLTAGE: 208Y/120V-3P-4W TOP 150A MLO DEVICE BRANCH CIRCUIT BRANCH CIRCUIT DEVICE PHASE LOAD (VOLT-AMPS) DESIGNATION 507.00 VOLT S ØA ØB ØC |일|AMPS DESIGNATION LIGHTS 144-146-147 240 LIGHTS 138-139-140-141 · LIGHTS 130 & 145 4 210 LIGHTS CORR., RM. 137-138 LIGHTS 125-127-128-129-LOBBY-STAIRS . HEAT 113 . HEAT 114 20 1 · MINISPLIT HVAC BY LOBBY
20 1 · PARKING LOT LIGHTS . HEAT CORR. 103 20 1 · HEAT 112 . HEAT 112 20 1 · HEAT 112 . SPARE . HEAT 115 . PHONES
. HEATER 119 · 1 20 · 1 20 · 1 20 · 1 20 · 1 20 · 1 20 · 1 20 · 1 20 · 1 20 · 1 20 . 36 . 42 TOTAL KVA: KVA TOTAL

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| CIRCUITS SHOWN IN BOLD ARE NEW AND |
|--|
| CIRCUITS SHOWN IN BOLD ARE NEW AND WILL REPLACE EXISTING CIRCUITS CURRENTL |
| SHOWN ON PANEL. |

'L2'(EXISTING)

208Y/120V-3P-4W

PANEL

VOLTAGE:

| DEMAND | VOLT - | - AMPS |
|--------|--|--|
| FACTOR | CONNECTED | DEMAND |
| 1.25 | | • |
| N.E.C. | • | • |
| 1.00 | • | • |
| 1.00 | • | • |
| 1.25 | • | • |
| 0.65 | • | • |
| TOTAL- | • | • |
| | 1.25
N.E.C.
1.00
1.00
1.25
0.65 | FACTOR CONNECTED 1.25 N.E.C. 1.00 1.25 0.65 |

ENCLOSURE: NEMA 1

MAINS: 100A MLO

TOTAL AMPS:

DEMAND LOAD AMPS = A

DEVICE BRANCH CIRCUIT PHASE LOAD BRANCH CIRCUIT DEVICE (VOLT-AMPS) DESIGNATION DESIGNATION 1080 1 1440 OUTLET RM. 131 20 1 · OUTLET RM. 131 20 | 1 | · | OUTLET RM. 131 OULET RM. 129 20 1 · OUTLET RM. 129 . OUTLET RM. 129 720 5 20 | 1 | · | SPARE 8 | . SPARE 20 1 · WATER COOLER 500 9 0 180 CORR, 122 20 1 · WATER COOLER
20 1 · OUTLET RM. 134
20 1 · OUTLET RM. 121
20 1 · OUTLET RM. 128
20 1 · OUTLET RM. 128
20 1 · OUTLET RM. 133
20 1 · OUTLET RM. 128 900 OUTLET RM. 134 OUTLET RM. 128 OUTLET RM. 132 SPARE

MOUNTING: SURFACE

FEEDER: TOP

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

KVA TOTAL

20 1 · COPIER DED. RECEP

20 1 · HEAT RECPT. AREA

20 1 · BIG PRINTER

20 | 1 | · | 220V OUTLET RM 129

| LOAD DECODIDITION | DEMAND | VOLT - AMPS | | | | | |
|-------------------|--------|-------------|--------|--|--|--|--|
| LOAD DESCRIPTION | FACTOR | CONNECTED | DEMAND | | | | |
| IGHTING | 1.25 | | | | | | |
| RECEPTACLES | N.E.C. | | | | | | |
| IVAC EQUIPMENT | 1.00 | | | | | | |
| MISC. EQUIPMENT | 1.00 | | | | | | |
| VATER HEATER | 1.25 | | | | | | |
| (ITCHEN EQUIPMENT | 0.65 | | | | | | |
| | TOTAL- | | | | | | |

DEDICATED RM. 133 FRIDGE&MICR

TOTAL KVA:

TOTAL AMPS: ______

DEMAND LOAD AMPS = .A

· 1 20

. ILF-1 RM 123

. SPARE

. SPARE

. HEAT RECPT. AREA

| 1 | ANI
OLT | | 'L1'(EXISTING)
E: 208Y/120V-3P-4W | | OUN [*] | TING:
R: | SUF
TOP | RFACE | | | ENCLOSURE: NEMA 1
MAINS: 100A MLO | | | |
|------|------------|-----|--------------------------------------|--------------|------------------|-------------|------------|-------|-----|--------------|--------------------------------------|-------|------|----------|
| DEV | /ICE | | BRANCH CIRCUIT | | | PHA | ASE LO | DAD | | | BRANCH CIRCUIT | | DE | /ICE |
| S | ES | ES | | | | (VO | LT-AM | PS) | |) (O. T. | | ES | ES | S |
| AMPS | POLES | NOT | DESIGNATION | VOLT
AMPS | NO. | ØΑ | ØΒ | øС | NO. | VOLT
AMPS | DESIGNATION | NOTES | POLE | AMPS |
| 20 | 1 | | OUTLET 112 | 900 | 1 | 1620 | | | 2 | 720 | OUTLET 112 | | 1 | 20 |
| 20 | 1 | | OUTLET 113 | | 3 | | | | 4 | | OULET 114 | | 1 | 20 |
| 20 | 1 | | OUTLET 113 | | 5 | | . | 1080 | | 1080 | | | 1 | 20 |
| 20 | 1 | | OUTLET 114 | 1080 | 7 | 1080 | | | 8 | | OULET 115 | | 1 | 20 |
| 20 | 1 | | OUTLET 105 | | 9 | | | | 10 | | OUTLET 119 | | 1 | 20 |
| 20 | 1 | | OUTLER WATER COOLER | | 11 | | | | 12 | | OUTLET 103 | | 1 | 20 |
| 20 | 1 | | OUTLET 108 | | 13 | | | | 14 | | OUTLET 108 | | 1 | 20 |
| 20 | 1 | ٠ | OUTLET LOBBY | 900 | 15 | | 1800 | | 16 | 900 | | | 1 | 20 |
| 20 | 1 | · | LIGHTS - RESTROOM | | 17 | | | | 18 | | LIGHTS 112 | | 1 | 20 |
| 20 | 1 | • | FAN EQP. ROOM | | 19 | | | | 20 | | SPARE | ٠ | 1 | 20 |
| 20 | 1 | ٠ | TIME CLOCK — OUTSIDE RECEPT. | | 21 | | | | 22 | | FIRE PANEL | | 1 | 20 |
| 20 | 1 | ٠ | SPARE | | 23 | | , | | 24 | | SPARE | · | 1 | 20 |
| 20 | 1 | · | | | 25 | | | 1 | 26 | , | | ٠. | 1 | 20 |
| 20 | 1 | · | | | 27 | | | | 28 | | | ٠. | 1 | 20 |
| 20 | 1 | ٠ | | | 29 | | , | | 30 | | | | 1 | 20 |
| 20 | 1 | ٠ | • | | 31 | | | ı | 32 | | | | 1 | 20 |
| 20 | 1 | • | | | 33 | | | | 34 | | | ٠. | 1 | 20 |
| 20 | 1 | ٠ | | | 35 | | | | 36 | | | ٠. | 1 | 20 |
| 20 | 1 | ٠ | | | 37 | | - | ı | 38 | | | ٠. | 1 1 | 20 |
| 20 | 1 | · | | | 39 | | | | 40 | | | ٠. | 1 | 20 |
| 20 | 1 | ٠ | | | 41 | | | | 42 | | | | 11 | 20 |
| | | | KVA | TOTAL | | | | , | | | TOTAL KVA: _
TOTAL AMPS: _ | | | <u>.</u> |

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| LOAD DECODIDATION | DEMAND | VOLT - AMPS | | | | |
|-------------------|--------|-------------|--------|--|--|--|
| LOAD DESCRIPTION | FACTOR | CONNECTED | DEMAND | | | |
| LIGHTING | 1.25 | | | | | |
| RECEPTACLES | N.E.C. | | | | | |
| HVAC EQUIPMENT | 1.00 | | | | | |
| MISC. EQUIPMENT | 1.00 | | | | | |
| WATER HEATER | 1.25 | | | | | |
| KITCHEN EQUIPMENT | 0.65 | | | | | |
| | TOTAL- | | | | | |

DEMAND LOAD AMPS = . A

| | ANI
OLT | EL
AGI | 'L1'
:: 208Y/120V-3P-4W | | OUN
EDE | TING:
R: | SUF
TOP | RFACE | | | ENCLOSURE: MAINS: | NEMA 1
100A MLO | | | |
|--------------|------------|-----------|-----------------------------------|--------------|------------|-------------|------------|-------|-----|--------------|-------------------|---------------------------|---|-------|----------|
| DEV | ICE | | BRANCH CIRCUIT | | | PHA | ASE LO |)AD | | | BRANG | CH CIRCUIT | | DE\ | /ICE |
| | | | | | | (۷0 | LT-AM | PS) | | | | | 1 ,, | ,, | |
| AMPS
TRIP | POLES | NOTES | DESIGNATION | VOLT
AMPS | NO. | ØΑ | øΒ | øС | NO. | VOLT
AMPS | DES | IGNATION | NOTES | POLES | AMPS |
| 20 | 1 | • | OUTLET 138 | 1440 | 1 | 2340 | | | 2 | 900 | OUTLET 135- | 136 | · | 1 | 20 |
| 20 | 1 | | OUTLET 113 | | 3 | | | | 4 | | OULET 114 | | | 1 | 20 |
| 20 | 1 | | OUTLET 113 | | 5 | | | 1440 | 6 | 1440 | OUTLET 144- | 146 | | 1 | 20 |
| 20 | 1 | • | OUTLET 145 | 1080 | 7 | 1080 | | | 8 | | OUTLET 115 | | <u> </u> | 1 | 20 |
| 20 | 1 | | OUTLET 105 | | 9 | | 900 | | 10 | 900 | OUTLET 129- | 130 | · | 1 | 20 |
| 20 | 1 | · | OUTLER WATER COOLER | | 11 | | | | 12 | | OUTLET 103 | | · | 1 | 20 |
| 20 | 1 | · | OUTLET 108 | | 13 | | | | 14 | | OUTLET 108 | | · | 1 | 20 |
| 20 | 1 | ٠ | OUTLET LOBBY | 720 | | | 1620 | | 16 | 900 | | ′ – FRONT DESK | · | 1 | 20 |
| 20 | 1 | ٠ | LIGHTS - RESTROOM (142-143) | 156 | | | | 156 | | | LIGHTS 112 | | ŀ | 1 | 20 |
| 20 | 1 | ٠ | FAN EQP. ROOM | | 19 | | | | 20 | | SPARE | | · | 1 | 20 |
| 20 | 1 | | TIME CLOCK - OUTSIDE RECEPT. | | 21 | | | | 22 | | FIRE PANEL | | ŀ | 1 | 20 |
| 20 | 1 | ٠ | SPARE | | 23 | | | | 24 | | SPARE | | Ŀ | 1 | 20 |
| 20 | 1 | | SPARE | | 25 | | | | 26 | | SPARE | | · | 1 | 20 |
| 20 | 1 | | SPARE | | 27 | | 1200 | | 28 | 1200 | | RIG. (BRK. RM. 146) | _ | 1 | 20 |
| 20 | 1 | · | RECEPT. – REFRIG (BRK RM. 129) | | | | | 1500 | | 300 | | MAKER (BRK. RM. 146) | _ | 1 | 20 |
| 20 | 1 | • | RECEPT. – MICROWAVE (BRK RM. 129) | 950 | | 1900 | | | 32 | 950 | | OWAVE (BRK. RM. 146) | 4— | 1 | 20 |
| 20 | 1 | • | SPARE | | 33 | | 1000 | | 34 | 1000 | RECEPT. – HA | ND DRYER (RM. 143) |) · | 1 | 20 |
| 20 | 1 | ٠ | RECEPT HAND DRYER (RM.142) | 1000 | | | | 1000 | | | • | | · | 1 | 20 |
| 20 | 1 | • | • | | 37 | | | | 38 | ٠ | • | | · | 1 | 20 |
| 20 | 1 | · | • | | 39 | | | | 40 | | • | | <u> </u> | 1 | 20 |
| 20 | 1 | • | • | | 41 | | | | 42 | | • | | ٠. | 1 | 20 |
| | | | KVA | A TOTAL | | • | • | • | | | | TOTAL KVA:
TOTAL AMPS: | | | <u>.</u> |

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

CIRCUITS SHOWN IN BOLD ARE NEW AND WILL REPLACE EXISTING CIRCUITS CURRENTLY SHOWN ON PANEL.

| LOAD DESCRIPTION | DEMAND | VOLT — AMPS | | | | | |
|-------------------|--------|-------------|--------|--|--|--|--|
| LOAD DESCRIPTION | FACTOR | CONNECTED | DEMAND | | | | |
| LIGHTING | 1.25 | • | | | | | |
| RECEPTACLES | N.E.C. | | | | | | |
| HVAC EQUIPMENT | 1.00 | • | • | | | | |
| MISC. EQUIPMENT | 1.00 | • | • | | | | |
| WATER HEATER | 1.25 | • | • | | | | |
| KITCHEN EQUIPMENT | 0.65 | • | • | | | | |
| | TOTAL- | • | • | | | | |

DEMAND LOAD AMPS = . A

| F | PAN | EL | 'L2' | M | MOUNTING: | | G: SURFACE | | | | ENCLOSURE: NEMA 1 | | | |
|------|-----------|-------|-----------------------------|--------------|-----------|------|-------------|-----------|-----|----------------|--------------------------------|-------|-------|--------------|
| \ \ | OL | TAGI | E: 208Y/120V-3P-4W | FE | FEEDER: | | TOP | | | | MAINS: 100A MLO | | | |
| DEV | /ICE | - | BRANCH CIRCUIT | | PH | | SE LO |)AD | | BRANCH CIRCUIT | | DEVIC | | /ICE |
| AMPS | POLES | NOTES | 2520.00
DESIGNATION | VOLT
AMPS | NO. | (VOI | LT—AM
øB | PS)
øC | NO. | VOLT
AMPS | DESIGNATION | NOTES | POLES | AMPS
TRIP |
| 20 | 1 | | OUTLET RM. 103-104-107-108 | 1440 | 1 | 2520 | | | 2 | 1080 | OUTLET RM. 101-102-105 | • | 1 | 20 |
| 20 | 1 | | OUTLET RM. 106-109-110 | 1080 | _ | | | | 4 | | OULET RM. 129 | | 1 | 20 |
| 20 | 1 | · | OUTLET RM. 111 | 1260 | 5 | | Į | | 6 | | OUTLET RM. 129 | ŀ | 1 | 20 |
| 20 | 1 | · | RECEPT. — HAND DRYER RM.122 | 1000 | 7 | 2000 | | | 8 | 1000 | RECEPT. — HAND DRYER RM.123 | ٠. | 1 | 20 |
| 20 | 1 | · | WATER COOLER | 500 | | | 860 | | 10 | 360 | CIRC. 100 | ٠. | 1 | 20 |
| 20 | 1 | · | OUTLET RM. 120 | 720 | | | Į | 1980 | 12 | 1260 | OUTLET RM. 122-123-124-125 | | 1 | 20 |
| 20 | 1 | · | OUTLET RM. 121 | | 13 | | | | 14 | | OUTLET RM. 121 | ļ · | 1 | 20 |
| 20 | 1 | · | OUTLET RM. 112-113-114 | 900 | | | 1620 | | 16 | 720 | OUTLET RM. 115-116 | ٠. | 1 | 20 |
| 20 | 1 | · | OUTLET RM. 118 | 720 | 17 | | Į | | 18 | | OUTLET RM. 132 | • | 1 | 20 |
| 20 | 1 | | OUTLET RM. 133 | | 19 | | | | 20 | 1000 | RECEPT. — HAND DRYER RM.119 | | 1 | 20 |
| 20 | 1 | | OUTLET RM. 128 | | 21 | | | | 22 | | ILF-1 RM 123 | | 1 | 20 |
| 20 | 1 | | COPIER DED. RECEPT. | | 23 | | | | 24 | | DEDICATED RM. 133 FRIDGE&MICRO | · · | 1 | 20 |
| 20 | 1 | - | HEAT RECPT. AREA | | 25 | | | | 26 | | HEAT RECPT. AREA | | 1 | 20 |
| 20 | 1 | · | 220V OUTLET RM 129 | | 27 | | | | 28 | | SPARE | | 1 | 20 |
| 20 | 1 | | BIG PRINTER | | 29 | | | | 30 | | SPARE | | 1 | 20 |
| | KVA TOTAL | | | | | | | • | | | TOTAL KVA:
TOTAL AMPS: | | | • |

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

CIRCUITS SHOWN IN BOLD ARE NEW AND WILL REPLACE EXISTING CIRCUITS CURRENTLY SHOWN ON PANEL.

| LOAD DESCRIPTION | DEMAND | VOLT - AMPS | | | | | | |
|-------------------|--------|-------------|--------|--|--|--|--|--|
| LOAD DESCRIPTION | FACTOR | CONNECTED | DEMAND | | | | | |
| LIGHTING | 1.25 | • | | | | | | |
| RECEPTACLES | N.E.C. | • | • | | | | | |
| HVAC EQUIPMENT | 1.00 | • | | | | | | |
| MISC. EQUIPMENT | 1.00 | • | • | | | | | |
| WATER HEATER | 1.25 | • | • | | | | | |
| KITCHEN EQUIPMENT | 0.65 | • | • | | | | | |
| | TOTAL | | | | | | | |

TOTAL- . DEMAND LOAD AMPS = . A

CONSULTING ENGINEERS 116 SOUTH PLEASANTBURG DRIVE

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GREENVILLE, SOUTH CAROLINA 29607





RELEASED FOR PLAN **REVIEW AND PRICING** 12/17/2020

CHA HARDEN **BLDG REMODEL**

| Ø | RELEASED FOR PLAN REVIEW/PRICING | 12/17/2020 | JSB |
|-----|----------------------------------|------------|-----|
| No. | REVISION | DATE | Ву |

COLUMBIA HOUSING **AUTHORITY**

1917 HARDEN STREET Columbia, SC 29204

> FIRST FLOOR PANEL SCHEDULES

Date: 12/17/2020 Approved By: JCS TSB Checked By:

20002.01 Project No:

NOTES: 1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| LOAD DECODIDATION | DEMAND | VOLT - | - AMPS | | | | |
|------------------------|--------|-----------|--------|--|--|--|--|
| LOAD DESCRIPTION | FACTOR | CONNECTED | DEMAND | | | | |
| LIGHTING | 1.25 | | | | | | |
| RECEPTACLES | N.E.C. | | | | | | |
| HVAC EQUIPMENT | 1.00 | | | | | | |
| MISC. EQUIPMENT | 1.00 | | | | | | |
| WATER HEATER | 1.25 | • | | | | | |
| KITCHEN EQUIPMENT | 0.65 | | | | | | |
| | TOTAL- | • | | | | | |
| DEMAND LOAD AMPS = . A | | | | | | | |

'H3' MOUNTING: SURFACE ENCLOSURE: NEMA 1 VOLTAGE: 208Y/120V-3P-4W FEEDER: TOP 350A MLO DEVICE BRANCH CIRCUIT BRANCH CIRCUIT DEVICE PHASE LOAD (VOLT-AMPS) AMPS S ØA ØB ØC S AMPS DESIGNATION DESIGNATION 150 1 390 240 3 150 5 2 240 LIGHTS 211-215-216-217 4 630 LIGHTS 205-204-203-201-206 LIGHTS 207-209-210 · LIGHTS 218-221 870.00 20 1 · LIGHTS 202, 222 630.00 630 6 480 LIGHTS LOBBY - RM. 200 20 3 · HEATER 206-218 HEATER 203 20 3 · HEATER 210 . HEATER 210 20 3 · COMPUTER AIR HANDLER 212 ROOF UNIT COMPUTER 20 3 · HEATER 208 . PANEL L3 | 20 | 3 | · | SPARE TOTAL KVA: _____

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| CIRCUITS SHOWN IN BOLD ARE NEW AND WILL REPLACE EXISTING CIRCUITS CURRENTL SHOWN ON PANEL. |
|--|

KVA TOTAL

| • | | | TAL AMPS: _ | • |
|---|-------------------|--------|-------------|--------|
| | | | | |
| | LOAD DESCRIPTION | DEMAND | VOLT - | - AMPS |
| | LOAD DESCRIPTION | FACTOR | CONNECTED | DEMAND |
| | LIGHTING | 1.25 | | |
| | RECEPTACLES | N.E.C. | | • |
| | HVAC EQUIPMENT | 1.00 | • | • |
| | MISC. EQUIPMENT | 1.00 | | • |
| | WATER HEATER | 1.25 | | • |
| | KITCHEN EQUIPMENT | 0.65 | • | • |
| | | TOTAL- | | |

DEMAND LOAD AMPS =

| 11 | PANEL 'L4'(EXISTING) MOUNTING: SURFACE VOLTAGE: 208Y/120V-3P-4W FEEDER: TOP | | | ENCLOSURE: NEMA 1
MAINS: 100A MLO | | | | | | | | | | |
|------|---|-------|--------------------------------|--------------------------------------|-----|-----|--------|-----|-----|--------------|------------------------------|---|-------|----------|
| DE/ | /ICE | - | BRANCH CIRCUIT | | | PHA | ASE LO |)AD | | | BRANCH CIRCUIT | DEVICE | | 'ICE |
| S | ES | ES | | VOLT | | (VO | LT-AM | PS) | | \/OLT | | ES | ES | S |
| AMPS | POL | NOTES | DESIGNATION | VOLT
AMPS | NO. | ØΑ | ØΒ | øС | NO. | VOLT
AMPS | DESIGNATION | NOT | POLES | AMPS |
| 20 | 1 | | OUTLET 226 | | 1 | | | | 2 | | OUTLET WATER COOLER | | 1 | 20 |
| 20 | 1 | | REF-3 | | 3 | | | | 4 | | POWER POLES (CENTER) | | 1 | 20 |
| 20 | 1 | | STORE ROOM RECEPTS | | 5 | | | | 6 | | KITCHEN RECEPT. | | 1 | 20 |
| 20 | 1 | | POWER POLES (STREET SIDE) | | 7 | | | | 8 | | PURCH. OFFICE | | 1 | 20 |
| 20 | 1 | | MICROWAVE RECEPT. | | 9 | | | | 10 | | OFFICE RECEPTS | | 1 | 20 |
| 20 | 1 | ١. | POWER POLES (PARKING LOT SIDE) | | 11 | | | | 12 | | POWER POLES (CENTER) | | 1 | 20 |
| 20 | 1 | ١. | RECEPT.— COND. PUMP | | 13 | | | | 14 | | DEDICATED OUTLET (BOARD RM.) | · | 1 | 20 |
| | | | SPACE | | 15 | | | | 16 | | RANGE HOOD | <u> </u> | 1 | 20 |
| 20 | 1 | | SPARE | | 17 | | | | 18 | | SPARE | | 1 | 20 |
| 20 | 1 | | COPIER RECEPT. 208 120V | | 19 | | | | 20 | | DRINK MACHINE RECEPT. | | 1 | 20 |
| 60 | 1 | | SPARE | | 21 | | | | 22 | | SPACE | | 1 | 20 |
| 30 | 1 | | SPARE | | 23 | | | | 24 | | SPACE | | 1 | 20 |
| 20 | 1 | | AC CONTROL | | 25 | | | | 26 | | SPARE | | 1 | 20 |
| 20 | 1 | | SPARE | | 27 | | | | 28 | • | SPARE | | 1 | 20 |
| 20 | 1 | | SPARE | | 29 | | | | 30 | | SPARE | | | |
| | KVA TOTAL | | | | | | | | | | TOTAL KVA:
TOTAL AMPS: | | | <u>-</u> |

NOTES: 1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| LOAD DESCRIPTION | DEMAND | VOLT - AMPS | | | | | | |
|-------------------|--------|-------------|--------|--|--|--|--|--|
| LOAD DESCRIPTION | FACTOR | CONNECTED | DEMAND | | | | | |
| LIGHTING | 1.25 | | | | | | | |
| RECEPTACLES | N.E.C. | | | | | | | |
| HVAC EQUIPMENT | 1.00 | • | 4 | | | | | |
| MISC. EQUIPMENT | 1.00 | | | | | | | |
| WATER HEATER | 1.25 | • | • | | | | | |
| KITCHEN EQUIPMENT | 0.65 | | | | | | | |
| | TOTAL- | | | | | | | |

DEMAND LOAD AMPS = . A

| 11 | OL ⁻ | EL
TAGE | 'L3'(EXISTING)
E: 208Y/120V-3P-4W | | OUN ⁻
EEDE | TING:
R: | SUF
TOF | RFACE | | | ENCLOSURE: NEMA 1
MAINS: 100A MLO | | | |
|------|-----------------|------------|--------------------------------------|------------|--------------------------|-------------|------------|-------|-----|------|--------------------------------------|--------|-------|----------|
| DEV | 'ICE | | BRANCH CIRCUIT | | | PHA | SE LO |)AD | | | BRANCH CIRCUIT | DEVICE | | |
| | | | | | П | (VOI | _T-AM | PS) | | | | | | |
| NS T | ES | LES | |
 VOLT | | · 1 | | | | VOLT | | FS | | PS P |
| AMPS | POI | NOTES | DESIGNATION | AMPS | NO. | ØΑ | ØΒ | øС | NO. | AMPS | DESIGNATION | 2 | POLES | AMPS |
| 20 | 1 | | OUTLET 207 | 540 | 1 | 1080 | | | 2 | 540 | OUTLET 207 | | 1 | 20 |
| 20 | 1 | | OUTLET 208 | 720 | 3 | | 1440 | | 4 | 720 | OUTLET 209 | | 1 | 20 |
| 20 | 1 | | OUTLET 204 | 1440 | 5 | • | | 1940 | 6 | 500 | OUTLET WATER COOLER | | 1 | 20 |
| 20 | 1 | | OUTLET 214-218 | 1260 | 7 | 1800 | | | 8 | 540 | OUTLET 210 | | 1 | 20 |
| 20 | 1 | | OUTLET 211 | 720 | 9 | | 1260 | | 10 | 540 | OUTLET 210 | | 1 | 20 |
| 20 | 1 | | OUTLET 210 | 720 | 11 | | | 1440 | 12 | 720 | OUTLET 211 | | 1 | 20 |
| 20 | 1 | | OUTLET 212 | 540 | , - | 540 | | | 14 | | SUB PANEL | | 1 | 20 |
| 20 | 1 | | SUB PANEL | | 15 | | | | 16 | | ILF-2 208 | | 1 | 20 |
| 20 | 1 | | REF 1 & 2 HOT WATER PUMP | | 17 | | | | 18 | | POWER POLE | | 1 | 20 |
| 20 | 1 | | REF-4 | | 19 | | | | 20 | | ILF-3&4 | | 1 | 20 |
| 20 | 1 | | POWER POLE | | 21 | | | | 22 | | ILF-1 RM 123 | | 1 | 20 |
| 20 | 1 | | WATER HEATER | | 23 | | | | 24 | | WATER HEATER | | 1 | 20 |
| 20 | 2 | | 220 VOLT OUTLET 207 | | 25 | | | | 26 | | COMPUTER EQP. | | 1 | 20 |
| 20 | 1 | | COMPUTER EQP. | | 27 | | | | 28 | | SPARE | | 1 | 20 |
| 20 | 1 | | COPIER BY COMPUTER ROOM | | 29 | | | | 30 | | SPARE | | 1 | 20 |
| 20 | 1 | | SPARE | | 31 | | | i | 32 | | SPARE | | 1 | 20 |
| 20 | 1 | | SPARE | | 33 | | | | 34 | | SPARE | | 1 | 20 |
| 20 | 1 | | SPARE | | 35 | | | | 36 | | SPARE | | 1 | 20 |
| 20 | 1 | | SPARE | | 37 | | | | 38 | | SPARE | | 1 | 20 |
| 20 | 1 | • | SPARE | | 39 | | | | 40 | | SPARE | | 1 | 20 |
| 20 | 1 | | SPARE | | 41 | | | | 42 | | SPARE | | 1 | 20 |
| | | | KVA | A TOTAL | | | | | | | TOTAL KVA: _
TOTAL AMPS: _ | | | <u>.</u> |

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| LOAD DESCRIPTION | DEMAND | VOLT - AMPS | | | | | |
|-------------------|--------|-------------|--------|--|--|--|--|
| LOAD DESCRIPTION | FACTOR | CONNECTED | DEMAND | | | | |
| LIGHTING | 1.25 | | , | | | | |
| RECEPTACLES | N.E.C. | | | | | | |
| HVAC EQUIPMENT | 1.00 | | • | | | | |
| MISC. EQUIPMENT | 1.00 | • | • | | | | |
| WATER HEATER | 1.25 | | | | | | |
| KITCHEN EQUIPMENT | 0.65 | | , | | | | |
| | TOTAL- | | | | | | |

DEMAND LOAD AMPS = . A

| | PANI
OLT | | 'L3'
:: 208Y/120V-3P-4W | | | ENCLOSURE: NEMA 1 MAINS: 100A MLO | | | | | | | | |
|--------------|-------------|-------|------------------------------|--------------|---------------|-----------------------------------|--------|------|-----|--------------|-----------------------------|-------|--------|----------|
| DEV | /ICE | | BRANCH CIRCUIT | | | PHA | ASE LO |)AD | | | BRANCH CIRCUIT | | DEVICE | |
| ω | S | S | | | | | LT-AM | | | | | S | S | S |
| AMPS
TRIP | POLES | NOTES | DESIGNATION | VOLT
AMPS | N | øΑ | øΒ | øС | NO. | VOLT
AMPS | DESIGNATION | NOTES | POLES | AMPS |
| 20 | 1 | | OUTLET 207 | 360 | 1 | 1260 | | | 2 | 900 | OUTLET 200 | • | 1 | 2 |
| 20 | 1 | • | OUTLET 208 | 540 | 3 | | 900 | | 4 | 360 | OUTLET 210 | • | 1 | 2 |
| 20 | 1 | • | OUTLET 204 | 720 | 5 | • | | 1620 | 6 | 900 | OUTLET RM. 222 | • | 1 | 2 |
| 20 | 1 | • | OUTLET 202-204 | 1080 | 7 | 2340 | | | 8 | 1260 | OUTLET 221, CIRC. (206) | ٠ | 1 | 2 |
| 20 | 1 | • | OUTLET 214, CIRC. (206) | 1440 | 9 | | 2160 | | 10 | 720 | OUTLET 211-215 | ٠ | 1 | 2 |
| 20 | 1 | ٠ | OUTLET 216-217 | 720 | | | | 1620 | 12 | 900 | OUTLET 218-219 | ٠ | 1 | 2 |
| 20 | 1 | ٠ | OUTLET 220 | 540 | 13 | | | | 14 | | SUB PANEL | • | 1 | 2 |
| 20 | 1 | | SUB PANEL | | 15 | | | | 16 | | ILF-2 208 | ٠ | 1 | 2 |
| 20 | 1 | | REF 1 & 2 HOT WATER PUMP | | 17 | | | | 18 | | POWER POLE | ٠ | 1 | 2 |
| 20 | 1 | ٠ | REF-4 | | 19 | • | | | 20 | | ILF-3&4 | | 1 | 2 |
| 20 | 1 | ٠ | POWER POLE | | 21 | | | | 22 | | ILF-1 RM 123 | ٠ | 1 | 2 |
| 20 | 1 | ٠ | WATER HEATER | | 23 | | | | 24 | | WATER HEATER | ٠ | 1 | 2 |
| 20 | 2 | ٠ | 220 VOLT OUTLET 207 | | 25 | | | | 26 | | COMPUTER EQP. | | 1 | 2 |
| 20 | 1 | ٠ | COMPUTER EQP. | | 27 | | | | 28 | 1000 | RECEPT.— HAND DRYER RM. 203 | ٠ | 1 | 2 |
| 20 | 1 | | COPIER BY COMPUTER ROOM | | 29 | | | | 30 | 1000 | - | ٠ | 1 | 2 |
| 20 | 1 | ٠ | RECEPT REFRIG (BRK. RM. 214) | 1200 | $\overline{}$ | 2150 | | | 32 | 950 | RECEPT MICROWAVE RM. 214 | ٠ | 1 | 2 |
| 20 | 1 | ٠ | SPARE | | 33 | | | | 34 | | SPARE | · | 1 | 2 |
| 20 | 1 | | SPARE | | 35 | | | | 36 | | SPARE | • | 1 | 2 |
| 20 | 1 | | SPARE | | 37 | | | | 38 | | SPARE | • | 1 | 2 |
| 20 | 1 | ٠ | SPARE | | 39 | | | | 40 | | SPARE | · | 1 | 2 |
| | | | | | 41 | | | | 42 | | SPARE | • | 1 | 2 |
| | | | KVA | A TOTAL | | | • | • | | | TOTAL KVA:
TOTAL AMPS: | | | <u>.</u> |

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| CIRCUITS SHOWN IN BOLD ARE NEW AND WILL REPLACE EXISTING CIRCUITS CURRENTL SHOWN ON PANEL. |
|--|
| |

| LOAD DESCRIPTION | DEMAND | VOLT - AMPS | | | | |
|-------------------|--------|--------------|--------|--|--|--|
| LUAD DESCRIPTION | FACTOR | CONNECTED | DEMAND | | | |
| LIGHTING | 1.25 | • | • | | | |
| RECEPTACLES | N.E.C. | • | • | | | |
| HVAC EQUIPMENT | 1.00 | • | • | | | |
| MISC. EQUIPMENT | 1.00 | • | • | | | |
| WATER HEATER | 1.25 | • | • | | | |
| KITCHEN EQUIPMENT | 0.65 | • | • | | | |
| | TOTAL- | • | • | | | |
| | DEMA | ND LOAD AMDO | Α | | | |

DEMAND LOAD AMPS $= \cdot A$

| | PANI | EL
FAGE | 'L4'
E: 208Y/120V-3P-4W | | OUN
EDE | TING:
R: | SUF
TOP | RFACE | | | ENCLOSURE: NEMA 1 MAINS: 100A MLO | | | |
|--------------|-----------|------------|--------------------------------|--------------|------------|-------------|-------------|-----------|-----|--------------|-----------------------------------|-------------|--------|--------------|
| DEV | /ICE | | BRANCH CIRCUIT | | | | ASE LO | | | | BRANCH CIRCUIT | | DEVICE | |
| AMPS
TRIP | POLES | NOTES | DESIGNATION | VOLT
AMPS | NO. | (VO
ØA | LT—AM
øB | PS)
øC | NO. | VOLT
AMPS | DESIGNATION | NOTES | POLES | AMPS
TRIP |
| 20 | 1 | | OUTLET 226 | | 1 | | | | 2 | | OUTLET WATER COOLER | | 1 | 20 |
| 20 | 1 | | REF-3 | | 3 | | | | 4 | | POWER POLES (CENTER) | | 1 | 20 |
| 20 | 1 | | STORE ROOM RECEPTS | | 5 | | | | 6 | | KITCHEN RECEPT. | | 1 | 20 |
| 20 | 1 | | POWER POLES (STREET SIDE) | | 7 | | | | 8 | | PURCH. OFFICE | | 1 | 20 |
| 20 | 1 | • | MICROWAVE RECEPT. | | 9 | | | | 10 | | OFFICE RECEPTS | | 1 | 20 |
| 20 | 1 | | POWER POLES (PARKING LOT SIDE) | | 11 | | | | 12 | | POWER POLES (CENTER) | | 1 | 20 |
| 20 | 1 | | RECEPT.— COND. PUMP | | 13 | | | i | 14 | | DEDICATED OUTLET (BOARD RM.) | ١. | 1 | 20 |
| | | | SPACE | • | 15 | | | | 16 | | RANGE HOOD | <u> · </u> | 1 | 20 |
| 20 | 1 | · | SPARE | | 17 | | , | | 18 | | SPARE | · | 1 | 20 |
| 20 | 1 | ٠ | COPIER RECEPT. 208 120V | | 19 | | | i | 20 | | DRINK MACHINE RECEPT. | ١. | 1 | 20 |
| 60 | 1 | | SPARE | | 21 | | | | 22 | | SPACE | ١. | 1 | 20 |
| 30 | 1 | ·] | SPARE | | 23 | | , | | 24 | | SPACE | · | 1 | 20 |
| 20 | 1 | Ŀ | AC CONTROL | | 25 | | | | 26 | | SPARE | · | 1 | 20 |
| 20 | 1 | Ŀ | SPARE | | 27 | | | | 28 | | SPARE | <u> · </u> | 1 | 20 |
| 20 | 1 | | SPARE | | 29 | | | | 30 | | SPARE | | | |
| | KVA TOTAL | | | | | | | | | | TOTAL KVA:
TOTAL AMPS: | | | • |

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| CIRCUITS SHOWN IN BOLD ARE NEW AND WILL REPLACE EXISTING CIRCUITS CURRENTLY |
|---|
| WILL DEDUACE EVICTING OFFICIALS OFFICE |
| WILL REPLACE EXISTING CIRCUITS CURRENILY |
| SHOWN ON PANEL. |
| SHOWN ON FANEL. |

| LOAD DESCRIPTION | DEMAND | VOLT - AMPS | | | | |
|-------------------|------------------|-------------|--------|--|--|--|
| LOAD DESCRIPTION | FACTOR CONNECTED | | DEMAND | | | |
| LIGHTING | 1.25 | | | | | |
| RECEPTACLES | N.E.C. | • | • | | | |
| HVAC EQUIPMENT | 1.00 | • | • | | | |
| MISC. EQUIPMENT | 1.00 | • | • | | | |
| WATER HEATER | 1.25 | • | • | | | |
| KITCHEN EQUIPMENT | 0.65 | • | | | | |
| | TOTAL- | | | | | |

DEMAND LOAD AMPS = . A

| ı | PANEL 'H4'(EXISTING) VOLTAGE: 208Y/120V-3P-4W | | | OUN
EEDE | TING:
[R: | SUI
TOF | RFACE | | | ENCLOSURE: NEMA 1 MAINS: 300A MLO | | | | |
|--------------|---|-------|-----------------|--------------|--------------|------------|-------------|-----------|-----|-----------------------------------|-------------------------------|------------|-------|----------|
| DEV | /ICE | | BRANCH CIRCUIT | | | PH/ | ASE LO | DAD | | | BRANCH CIRCUIT | | DE | VICE |
| AMPS
TRIP | POLES | NOTES | DESIGNATION | VOLT
AMPS | NO. | (VO
øA | LT-AM
ØB | PS)
ØC | NO. | VOLT
AMPS | DESIGNATION | SALON | POLES | AMPS |
| 20 | 1 | | LIGHTS | | 1 | | | | 2 | | LIGHTS | | 1 | 20 |
| 20 | 1 | | LIGHTS | | 3 | | | | 4 | | LIGHTS | | 1 | 20 |
| 20 | 1 | | LIGHTS | | 5 | | _ | | 6 | | LIGHTS | | 1 | 20 |
| 20 | 3 | | SPARE | | 7 | | | | 8 | | SPARE | | 3 | 90 |
| | | | | | | |] | | 10 | | LIGHTS | 一 . | 1 | 20 |
| 20 | 3 | | DUCT HEATER | | 9 | | | | 12 | | DRYER | · | 1 | 20 |
| | | | | | 1 | | | | 14 | | SPARE | | 1 | 20 |
| 20 | 1 | | HEAT REST ROOMS | | 11 | | | | | | | | | |
| 20 | 1 | · | BREAK ROOM GFI | | 13 |] | | | 16 | | AIR HANDLER | • | 3 | 20 |
| 20 | 1 | | SPARE | | 15 | | | | | | | | | |
| 20 | 3 | | AIR COMPRESSOR | | 17 | | | | 18 | | PANEL L-4 | | 3 | 100 |
| 20 | 3 | | DUCT HEATER | | 19 | | | | 20 | | DUCT HEATER | | 3 | 20 |
| 20 | 3 | | DUCT HEATER | | 21 | | | | 22 | | SPARE | | 3 | 20 |
| | | | ı
KV | 'A TOTAL | | | | | | | TOTAL KVA: _
TOTAL AMPS: _ | | | <u>.</u> |

NOTES: 1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| | LOAD DESCRIPTION | DEMAND | VOLT - AMPS | | | | |
|---|-------------------|--------|-------------|--------|--|--|--|
| | LUAD DESCRIPTION | FACTOR | CONNECTED | DEMAND | | | |
| | LIGHTING | 1.25 | | | | | |
| | RECEPTACLES | N.E.C. | | | | | |
| | HVAC EQUIPMENT | 1.00 | | | | | |
| | MISC. EQUIPMENT | 1.00 | | | | | |
| | WATER HEATER | 1.25 | • | | | | |
| | KITCHEN EQUIPMENT | 0.65 | | | | | |
| _ | | TOTAL- | | | | | |
| | | | | | | | |

DEMAND LOAD AMPS = . A

| | PAN
OL | EL
TAG | 'H4'
E: 208Y/120V-3P-4W | | OUN [*] | TING:
R: | SUI
TOF | RFACE | | | ENCLOSURE: NEMA 1 MAINS: 300A MLO | | | |
|--------------|-----------|-----------|----------------------------|-----------|------------------|-------------|------------|-------|------|------|-----------------------------------|----------|--------|--------|
| DE/ | /ICE | | BRANCH CIRCUIT | | | | ASE LO | | | ı | BRANCH CIRCUIT | | DEVICE | |
| AMPS
TRIP | ES | TES | | VOLT | | - | LT-AM | | ļ | VOLT | | NOTES | POLES | AMPS |
| ₹¥ | <u>@</u> | 2 | DESIGNATION | AMPS | NO. | ØΑ | ØΒ | øС | Š. | AMPS | DESIGNATION | 2 | 8 | ₹ ¤ |
| 20 | 1 | | LIGHTS | | 1 | | | | 2 | | LIGHTS | | 1 | 20 |
| 20 | 1 | | LIGHTS | | 3 | | | | 4 | | LIGHTS | | 1 | 20 |
| 20 | 1 | ŀ | LIGHTS | | 5 | | 1 | | . 6 | | LIGHTS | <u>.</u> | 1 | 20 |
| 20 | 3 | | SPARE | <u>.</u> | 7 | | | | 8 | | SPARE | | 3 | 90 |
| | | | | | | | | | 1 | | | | | |
| | | | | | | |] ' | | 10 | | LIGHTS | | 1 | 20 |
| 20 | 3 | . | DUCT HEATER | | 9 | | | | 12 | | DRYER | . | 1 | 20 |
| | | | | | | | | | . 14 | | SPARE | | 1 | 20 |
| 20 | 1 | ٠. | HEAT REST ROOMS | | 11 | | | | | | | | | |
| 20 | 1 | | BREAK ROOM GFI | | 13 | | | | 16 | | AIR HANDLER | • | 3 | 20 |
| 20 | 1 | | SPARE | | 15 | | , | | | | | | | |
| | | · | | | | | | ı | | | | | | |
| 20 | 3 | | AIR COMPRESSOR | | 17 | | | | 18 | | PANEL L-4 | . | 3 | 100 |
| 0.0 | | | DUOT HEATED | | 1.0 | | | | | | | | 1, | 0.0 |
| 20 | 3 | | DUCT HEATER | | 19 | | | | 20 | | DUCT HEATER . | ' | 3 | 20 |
| 00 | 7 | | DUOT HEATED | | | | | 1 | | | · CDADE | | 7 | |
| 20 | 3 | | DUCT HEATER | <u>.</u> | 21 | | | | 22 | | SPARE . | ' | 3 | 20 |
| | | 1 | 1 | KVA TOTAL | | | | , | | | TOTAL KVA:
TOTAL AMPS: | | | -
- |

1. HACR RATED BREAKER 2. BREAKER TO BE SWITCHING DUTY RATED

| CIRCUITS SHOWN IN BOLD ARE NEW AND WILL REPLACE EXISTING CIRCUITS CURRENTLY SHOWN ON PANEL. |
|---|
| WILL REPLACE EXISTING CIRCUITS CURRENTLY |
| SHOWN ON PANEL. |
| |

| LOAD DESCRIPTION | DEMAND | VOLT - | - AMPS |
|-------------------|--------|-----------|--------|
| LUAD DESCRIPTION | FACTOR | CONNECTED | DEMAND |
| LIGHTING | 1.25 | | • |
| RECEPTACLES | N.E.C. | • | • |
| HVAC EQUIPMENT | 1.00 | | • |
| MISC. EQUIPMENT | 1.00 | • | • |
| WATER HEATER | 1.25 | • | • |
| KITCHEN EQUIPMENT | 0.65 | | • |
| | TOTAL- | • | • |

DEMAND LOAD AMPS = . A

CONSULTING ENGINEERS

116 SOUTH PLEASANTBURG DRIVE GREENVILLE, SOUTH CAROLINA 29607 (864) 233-8844 www.h2l.com

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RELEASED FOR PLAN **REVIEW AND PRICING** 12/17/2020

CHA HARDEN **BLDG REMODEL**

| COLLIMBIA HOLISING | | | | | | | | |
|--------------------|----------------------------------|------------|-----|--|--|--|--|--|
| No. | REVISION | DATE | Ву | | | | | |
| Ø | RELEASED FOR PLAN REVIEW/PRICING | 12/17/2020 | JSB | | | | | |
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COLUMBIA HOUSING **AUTHORITY**

> 1917 HARDEN STREET Columbia, SC 29204

SECOND FLOOR PANEL SCHEDULES

Date: 11/02/2020 Approved By: JCS Drawn By: TSB Checked By:

20002.01

Project No: